



GENERAL NOTES:

GENERAL CONSTRUCTION.
 LOCATION OF UTILITIES MUST BE VERIFIED BY CONTRACTOR ON GROUND PRIOR TO PERFORMING ANY EXCAVATION. PROTECT UTILITIES DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF VIRGINIA PRIOR TO CONSTRUCTION.
 MATERIALS AND WORKMANSHIP MAY BE SUBJECT TO INSPECTION BY AN AGENT OF THE LENDING AGENCY MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THESE SPECIFICATIONS.
 BACK FILL AGAINST CONCRETE SHALL NOT OCCUR UNTIL CONCRETE HAS REACHED A COMPRESSIVE STRENGTH OF 3000 PSI.
 CONTRACTOR SHALL HAVE ALL PROPERTY PINS DISTURBED DURING CONSTRUCTION REESTABLISHED BY A LAND SURVEYOR.

SITE DRAINAGE.
 TOP OF FOUNDATION SHALL BE 12 INCHES PLUS 2 PERCENT ABOVE THE FLOW LINE OF THE GUTTER OR THE FLOW LINE OF THE APPLICABLE DRAINAGE. (UBC SECTION 18).
 SITE SHALL BE GRADED TO PROVIDE A MINIMUM OF 12 INCHES IN THE FIRST 10 FEET AWAY FROM THE STRUCTURE.
 SITE SHALL BE FURTHER GRADED TO PROVIDE GENERAL DRAINAGE OF SURFACE WATER OFF THE SITE. STANDING WATER OR POOLING OF WATER WILL BE PROHIBITED. (UBC SECTION 18 AND APPENDIX 1829) MAINTAIN A MINIMUM DISTANCE FROM THE FOUNDATION FOR ANY SITE IRRIGATION SUCH AS SPRINKLER SYSTEMS, ROOF RUNOFF, ETC. USE 5 FEET MINIMUM

EXCAVATION, SUB GRADE PREPARATION AND STRUCTURAL FILL.
 GENERALLY, FOOTERS THAT ARE POURED DIRECTLY ON SOIL SHALL BE POURED ON UNDISTURBED SOIL DEVOID OF ANY ORGANIC MATERIAL. IF SOIL HAS BEEN DISTURBED, SUCH AS BY BACK HOE TEETH, SAID SOIL SHALL BE COMPACTED WITH SUITABLE EQUIPMENT TO ATTAIN A MINIMUM OF 95 PERCENT STANDARD PROCTOR DENSITY. UNDISTURBED SOIL SHALL BE PROOF ROLLED TO DETERMINE LACK OF SOFT AREAS PRIOR TO PLACING CONCRETE.
 FOOTINGS SHALL BE STEPPED AS NECESSARY TO MAINTAIN THE REQUIRED DEPTH BELOW FINISH GRADE.
 STRUCTURAL FILL, IF CALLED FOR, SHALL BE PLACED ON A COMPACTED TRENCH BOTTOM. FILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 8 INCHES IN THICKNESS AND SHALL BE COMPACTED PRIOR TO PLACING THE NEXT LIFT. COMPACTION SHALL BE IN COMPLIANCE WITH THE SOILS REPORT, BUT NOT LESS THAN 95 PERCENT OF STANDARD PROCTOR.
 WASHED GRAVEL MAY BE PLACED AS STRUCTURAL FILL. IF WASHED GRAVEL IS USED, GRAVEL SHALL BE PLACED IN LIFTS NOT TO EXCEED 12 INCHES IN THICKNESS, AND SHALL BE CONSOLIDATED BY MEANS OF A VIBRATORY COMPACTOR OR OTHER SUITABLE EQUIPMENT.

SLABS ON GRADE.
 FILL UNDER SLABS ON GRADE SHALL BE A MINIMUM THICKNESS OF 4 INCHES OF WASHED GRANULAR MATERIAL AND SHALL BE COMPACTED TO A MINIMUM OF 90 % PROCTOR (RELATIVE COMPACTION TO UNDISTURBED MATERIAL)
 CONCRETE SLABS SHALL HAVE CONTROL JOINTS AT 12' INTERVALS EACH DIRECTION MAXIMUM UNLESS OTHERWISE SPECIFIED. CONCRETE SIDEWALKS SHALL HAVE A TOOLED CONTROL JOINT AT A MAXIMUM OF 5' SPACING

ABBREVIATIONS

A.G.	-APPEARANCE GRADE	HORIZ.	-HORIZONTAL
BD.	-BOARD	HT.	-HEIGHT
BEDRM	-BEDROOM	INSUL.	-INSULATION
BF	-BIFOLD DOOR	JST(S)	-JOIST(S)
BLDG	-BUILDING	L.C.	-LAUNDRY CHUTE
BM	-BEAM	LIN.	-LINEN
BR'M	-BROOM	MAX.	-MAXIMUM
B/U	-BUILT UP	MIN.	-MINIMUM
CANTR	-CANTILEVER	MFR. SPEC'S	-MANUFACTURERS SPECIFICATIONS
C.I.	-CAST IRON	MW	-MICROWAVE
CLG	-CEILING	I.B.C.	-INTERNATIONAL BUILDING CODE
CONC.	-CONCRETE	O	-OVEN
CPD(S)	-CUPBOARD(S)	O.C.	-ON CENTER
D	-DRYER	O.H.G.D.	-OVERHEAD GARAGE DOOR
D.F.	-DOUGLAS FIR	PKT.	-POCKET
S.P.F.	-SPRUCE, PINE OR FIR	PLY.	-PLYWOOD
DIAM.	-DIAMETER	R	-RANGE
DN	-DOWN	REQ'D	-REQUIRED
DBL	-DOUBLE	R&S	-ROD & SHELF
DIM(S)	-DIMENSION(S)	RF	-ROOF
DR	-DOOR	RM	-ROOM
DW	-DISHWASHER	R.O.	-ROUGH OPENING
ELEV.	-ELEVATION	SL.GL.DR.	-SLIDING GLASS DOOR
ENS.	-ENSUITE	SPEC(S)	-SPECIFICATIONS
E/W	-EACH WAY	TYP.	-TYPICAL
FLR.	-FLOOR	UJ	-UNDER
FL	-FLUSH	U/S	-UNDERSIDE
FLUOR.	-FLUORESCENT	W	-WASHER
FND(S)	-FOUNDATION(S)	w/	-WITH
FR	-FREEZER	WP	-WEATHERPROOF
FTG(S)	-FOOTING(S)	VERT.	-VERTICAL
FURN.	-FURNACE	V.B.	-VAPOUR BARRIER

REINFORCING STEEL.
 REINFORCING STEEL SHALL BE NEW, DEFORMED REBAR. FOOTERS SHALL BE REINFORCED AS SHOWN IN THE DRAWINGS REINFORCING STEEL MAY BE EITHER GRADE 40 OR GRADE 60. USE THE SAME GRADE OF REBAR THROUGHOUT THE PROJECT.
 COVER FOR REINFORCING STEEL SHALL COMPLY WITH ACI CODE RECOMMENDATIONS OF 3-INCHES COVER IF IN CONTACT WITH SOIL, AND 2-INCHES COVER FOR FORMED SURFACES THAT WILL BE EXPOSED OR COME IN CONTACT WITH SOIL. ALL CONCRETE STEM WALLS SHALL BE FORMED ALSO CENTER WALLS AND COLUMNS OVER THE FOOTING.
 ALL PERMANENTLY EXPOSED EDGES OF CONCRETE SHALL HAVE A 3/4" CHAMFER. ALL REINFORCING STEEL SHALL BE SUPPORTED USING CHAIRS, BOLSTERS OR WIRE TIES TO OBTAIN SPACING AND CLEARANCE SPECIFIED.
BEAM POCKETS AND UTILITY ACCESS.
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 BEAM POCKET AND UTILITY ACCESS GAPS SHALL BE FILLED WITH A NON SHRINK GROUT BEFORE WALL FINISHES ARE APPLIED.
FROST DEPTH.
 CONTRACTOR TO MAINTAIN 36" "FROST DEPTH" DISTANCE BELOW FINISH GRADE TO BOTTOM OF ALL FOOTINGS. STEP CONTINUOUS FOOTINGS IF NECESSARY TO MAINTAIN FROST DEPTH.
FOUNDATION ANCHOR BOLTS.
 ANCHOR BOLTS SHALL BE MINIMUM DIAMETER OF 1/2 INCH AND SHALL BE A MINIMUM OF 10 INCHES LONG, OR OF SUCH LONGER LENGTH AS REQUIRED TO OBTAIN A MINIMUM EMBEDMENT OF 7 INCHES INTO THE FOUNDATION NOT COUNTING THE LENGTH OF THE STANDARD HOOK. LOCATE FOUNDATION ANCHOR BOLTS AT A MAXIMUM SPACING OF 72 INCHES. SPACE ANCHOR BOLTS TO OBTAIN 12 INCHES FROM CORNERS, OPENINGS, SPLICES AND ENDS OF SILL PLATES.
CURING CONCRETE.
 CURING SHALL BEGIN AS SOON AS THE CONCRETE SURFACE IS FINISHED. CONCRETE SHALL BE CURED BY LEAVING FORMS IN PLACE, BY SPRINKLING, OR BY USE OF CURING COMPOUND OR OTHER APPROVED METHOD. CURING SHALL TAKE PLACE FOR NOT LESS THAN 5 DAYS.
COLD WEATHER CONCRETE.
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 ALL CONCRETE SHALL BE COMPACTED IN PLACE BY PROPER VIBRATION OF THE CONCRETE TO AVOID HONEYCOMB AND VOIDS.
 DIMENSIONS SHOWN FOR CONCRETE ARE ACTUAL NEAT LINE DIMENSIONS NOT NOMINAL DIMENSIONS ASSOCIATED WITH SAWN LUMBER.
 ACCEPTANCE OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER, CONTRACTOR, OR OWNER FROM CONFORMANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS OF HINSDALE COUNTY.
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 ALL PAD FOOTINGS SHALL HAVE A MINIMUM OF #5 REBARS AT 6 INCHES ON CENTER, BOTH DIRECTIONS. THIS INCLUDES PADS THAT ARE INTEGRATED INTO THE STANDARD FOOTING.
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CONCRETE SPECIFICATIONS.
 CONCRETE FOR FOOTERS AND STEM WALLS SHALL BE PROPORTIONED TO OBTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS (5 SACKS OF CEMENT PER CUBIC YARD), CONCRETE FOR SLABS ON GRADE AND OTHER STRUCTURAL CONCRETE SUCH AS REINFORCED WALLS, SHALL BE PROPORTIONED TO OBTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI IN 28 DAYS (6 SACKS OF CEMENT PER CUBIC YARD).
 CONCRETE MIX DESIGN SHALL COMPLY WITH THE FOLLOWING MINIMUM REQUIREMENTS:
 CEMENT - TYPE V SULFATE RESISTANT;
 WATER CEMENT RATIO - 0.50 MAXIMUM FOR 3000 PSI CONCRETE;
 WATER CEMENT RATIO - 0.44 MAXIMUM FOR 4500 PSI CONCRETE;
 COARSE AGGREGATE - 3/4 INCH IN FOOTERS AND STEM WALLS, CDOT NO.467 OR 57;
 COARSE AGGREGATE - 3/4 INCH IN SLABS AND BASEMENT WALLS, CDOT NO. 6 OR 7;
 FINE AGGREGATE - CDOT/ AASHTO M6, NOT TO EXCEED 50 PERCENT OF TOTAL AGGREGATE;
 AIR CONTENT - 4
 SLUMP - FOOTERS AND STEM WALLS, 2" TO 5";
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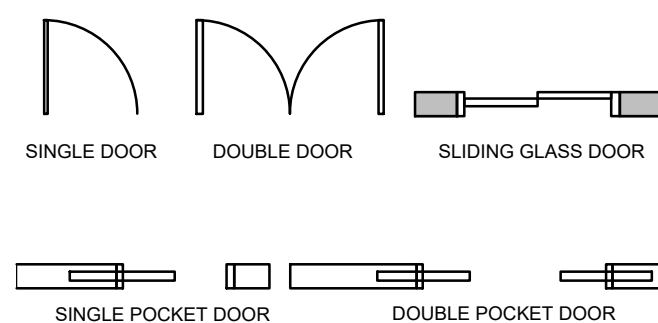
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 BEAM POCKET AND UTILITY ACCESS GAPS SHALL BE FILLED WITH A NON SHRINK GROUT BEFORE WALL FINISHES ARE APPLIED.
FROST DEPTH.
 CONTRACTOR TO MAINTAIN 36" "FROST DEPTH" DISTANCE BELOW FINISH GRADE TO BOTTOM OF ALL FOOTINGS. STEP CONTINUOUS FOOTINGS IF NECESSARY TO MAINTAIN FROST DEPTH.
FOUNDATION ANCHOR BOLTS.
 ANCHOR BOLTS SHALL BE MINIMUM DIAMETER OF 1/2 INCH AND SHALL BE A MINIMUM OF 10 INCHES LONG, OR OF SUCH LONGER LENGTH AS REQUIRED TO OBTAIN A MINIMUM EMBEDMENT OF 7 INCHES INTO THE FOUNDATION NOT COUNTING THE LENGTH OF THE STANDARD HOOK. LOCATE FOUNDATION ANCHOR BOLTS AT A MAXIMUM SPACING OF 72 INCHES. SPACE ANCHOR BOLTS TO OBTAIN 12 INCHES FROM CORNERS, OPENINGS, SPLICES AND ENDS OF SILL PLATES.
CURING CONCRETE.
 CURING SHALL BEGIN AS SOON AS THE CONCRETE SURFACE IS FINISHED. CONCRETE SHALL BE CURED BY LEAVING FORMS IN PLACE, BY SPRINKLING, OR BY USE OF CURING COMPOUND OR OTHER APPROVED METHOD. CURING SHALL TAKE PLACE FOR NOT LESS THAN 5 DAYS.
COLD WEATHER CONCRETE.
 CONCRETE SHALL NOT BE PLACED ON FROZEN GROUND. CONCRETE SHALL BE MAINTAINED AT A MINIMUM TEMPERATURE OF 50° F FOR A MINIMUM OF 5 DAYS.
 ALL CONCRETE SHALL BE COMPACTED IN PLACE BY PROPER VIBRATION OF THE CONCRETE TO AVOID HONEYCOMB AND VOIDS.
 DIMENSIONS SHOWN FOR CONCRETE ARE ACTUAL NEAT LINE DIMENSIONS NOT NOMINAL DIMENSIONS ASSOCIATED WITH SAWN LUMBER.
 ACCEPTANCE OF THESE PLANS DOES NOT RELIEVE THE DEVELOPER, CONTRACTOR, OR OWNER FROM CONFORMANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS OF HINSDALE COUNTY.
DAMP PROOFING.
 DAMP PROOFING IS REQUIRED FOR ALL FOUNDATIONS ENCLOSING BASEMENTS OR CRAWL SPACES BELOW FINISH GRADE.
REINFORCING
 ALL 24 IN FOOTINGS SHALL HAVE 3 #5 REBARS CONTINUOUS WITH BENT CORNERS. LAP SPLICES SHALL BE A MINIMUM OF 18 INCHES.
 ALL PAD FOOTINGS SHALL HAVE A MINIMUM OF #5 REBARS AT 6 INCHES ON CENTER, BOTH DIRECTIONS. THIS INCLUDES PADS THAT ARE INTEGRATED INTO THE STANDARD FOOTING.
 VERTICAL BARS SHALL BE A MINIMUM OF #4 REBARS AND SHALL HAVE A MAXIMUM SPACING OF 48 INCHES.
CONCRETE SPECIFICATIONS.
 CONCRETE FOR FOOTERS AND STEM WALLS SHALL BE PROPORTIONED TO OBTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS (5 SACKS OF CEMENT PER CUBIC YARD), CONCRETE FOR SLABS ON GRADE AND OTHER STRUCTURAL CONCRETE SUCH AS REINFORCED WALLS, SHALL BE PROPORTIONED TO OBTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI IN 28 DAYS (6 SACKS OF CEMENT PER CUBIC YARD).
 CONCRETE MIX DESIGN SHALL COMPLY WITH THE FOLLOWING MINIMUM REQUIREMENTS:
 CEMENT - TYPE V SULFATE RESISTANT;
 WATER CEMENT RATIO - 0.50 MAXIMUM FOR 3000 PSI CONCRETE;
 WATER CEMENT RATIO - 0.44 MAXIMUM FOR 4500 PSI CONCRETE;
 COARSE AGGREGATE - 3/4 INCH IN FOOTERS AND STEM WALLS, CDOT NO.467 OR 57;
 COARSE AGGREGATE - 3/4 INCH IN SLABS AND BASEMENT WALLS, CDOT NO. 6 OR 7;
 FINE AGGREGATE - CDOT/ AASHTO M6, NOT TO EXCEED 50 PERCENT OF TOTAL AGGREGATE;
 AIR CONTENT - 4
 SLUMP - FOOTERS AND STEM WALLS, 2" TO 5";
 SLUMP - REINFORCED WALLS, 3" TO 6";
 FIBER MESH (OPTIONAL) - 1.5 POUNDS PER CUBIC YARD.

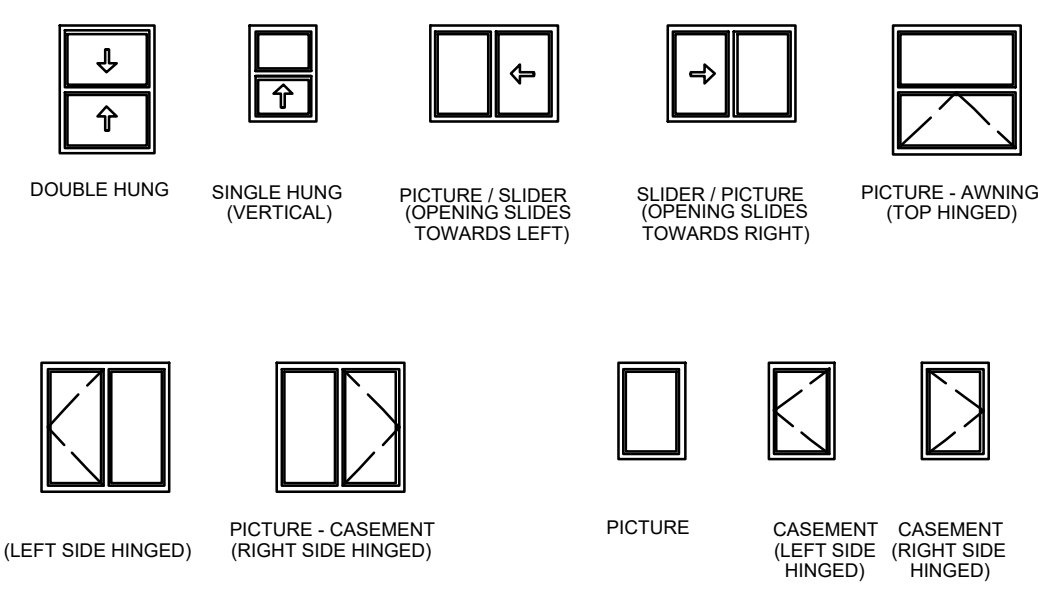
DOOR LEGEND:

DOORS IN FLOOR PLAN:



WINDOW LEGEND:

WINDOWS IN ELEVATION:



SHEET INDEX

- A-01 - COVER W/ GENERAL NOTES
- A-02 - SITE PLAN
- A-03 - EXISTING BASEMENT & FIRST FLOOR PLAN
- A-04 - EXISTING ELEVATIONS
- A-05 - PROPOSED BASEMENT FLOOR PLAN & N. ELEVATION
- A-06 - PROPOSED FIRST FLOOR PLAN & E. ELEVATION
- A-07 - PROPOSED S. & W. ELEVATIONS
- A-08 - PROPOSED BASEMENT DEMOLITION PLAN
- A-09 - PROPOSED FIRST DEMOLITION PLAN
- A-09 - PROPOSED FINISHING BASEMENT & FIRST FLOOR PLAN
- E-01 - PROPOSED BASEMENT ELECTRICAL PLAN
- E-02 - PROPOSED FIRST FLOOR ELECTRICAL PLAN
- P-01 - PROPOSED BASEMENT PLUMBING PLAN
- P-02 - PROPOSED FIRST FLOOR PLUMBING PLAN
- S-01 - FOUNDATION PLAN
- S-02 - FRAMING PLAN FIRST FLOOR
- S-03 - FRAMING PLAN SECOND FLOOR
- S-04 - ROOF FRAMING PLAN
- S-05 - ROOF PLAN
- S-06 - DETAILS

REVISIONS BY

Address: 833 PAYNES CREEK RD
LANCASTER, VIRGINIA

Sheet content : COVER W/GENERAL NOTES & PROJECT DATA

Project : HOUSE RENOVATION/ADDITION

Owner: TAYLOR-SANDERS

Date: 27/01/2025

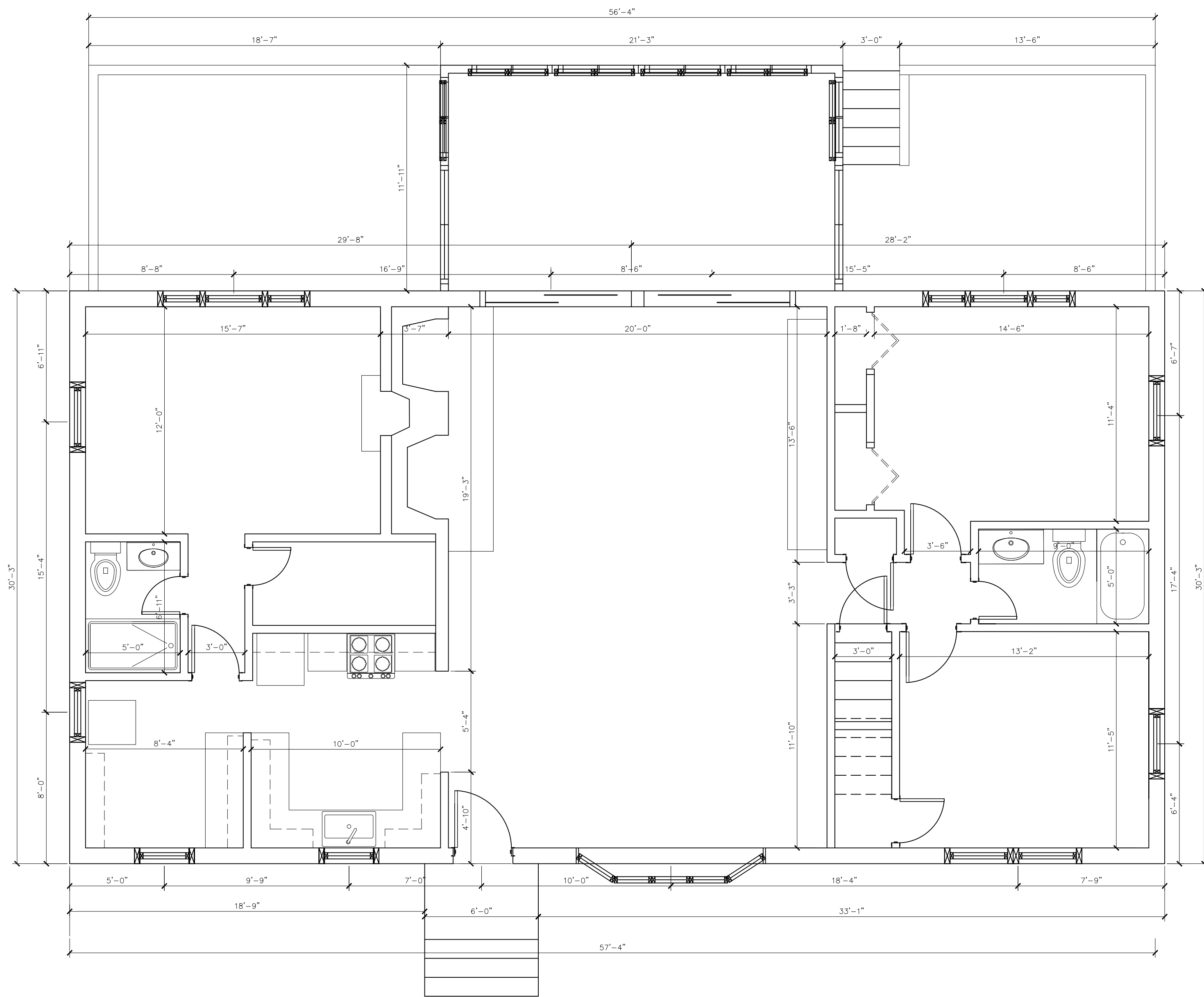
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Drawn: Kevin Cañas

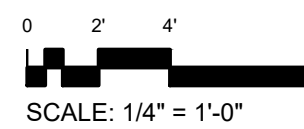
Job: House Renovation

Sheet

A-01

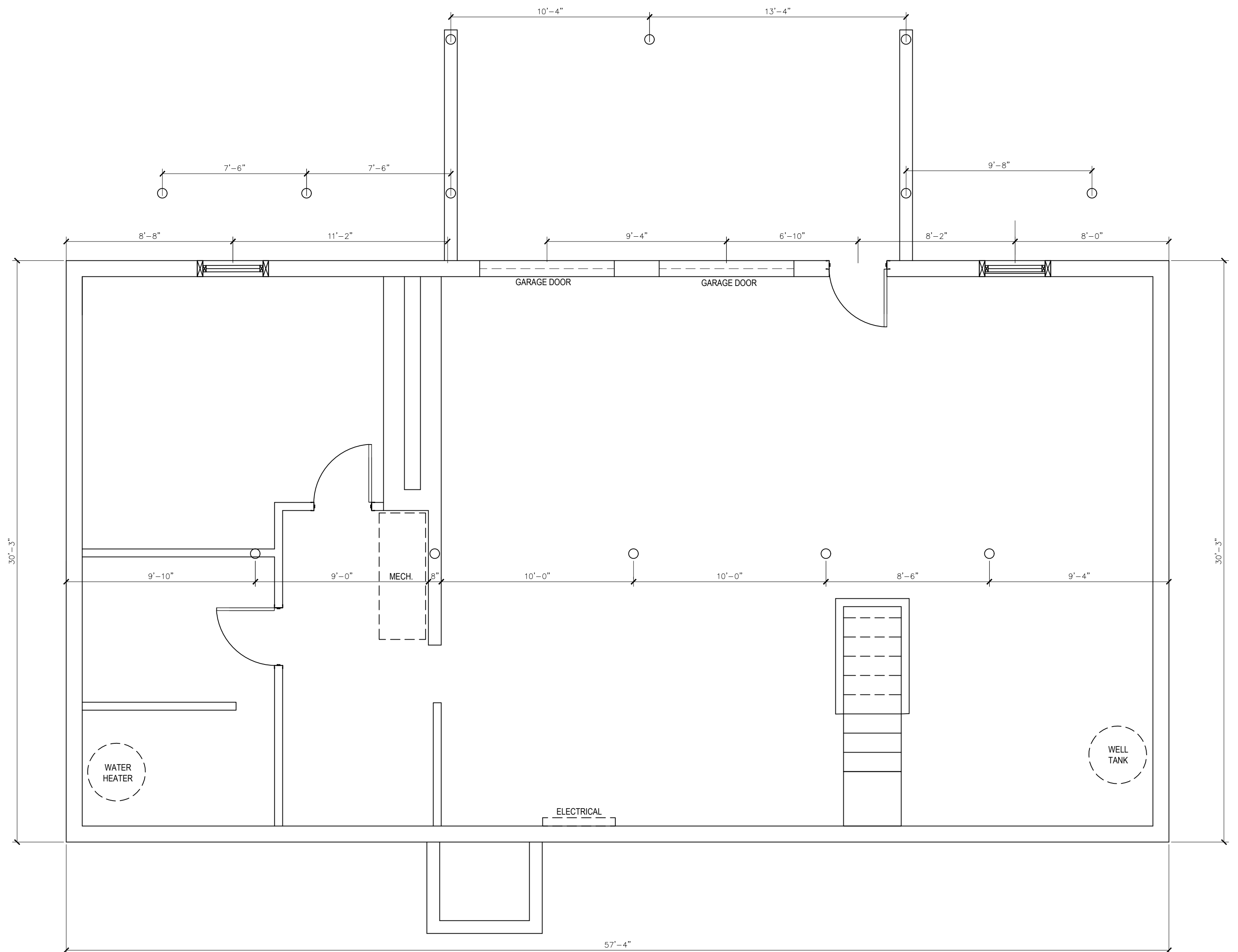


EXISTING FIRST FLOOR PLAN

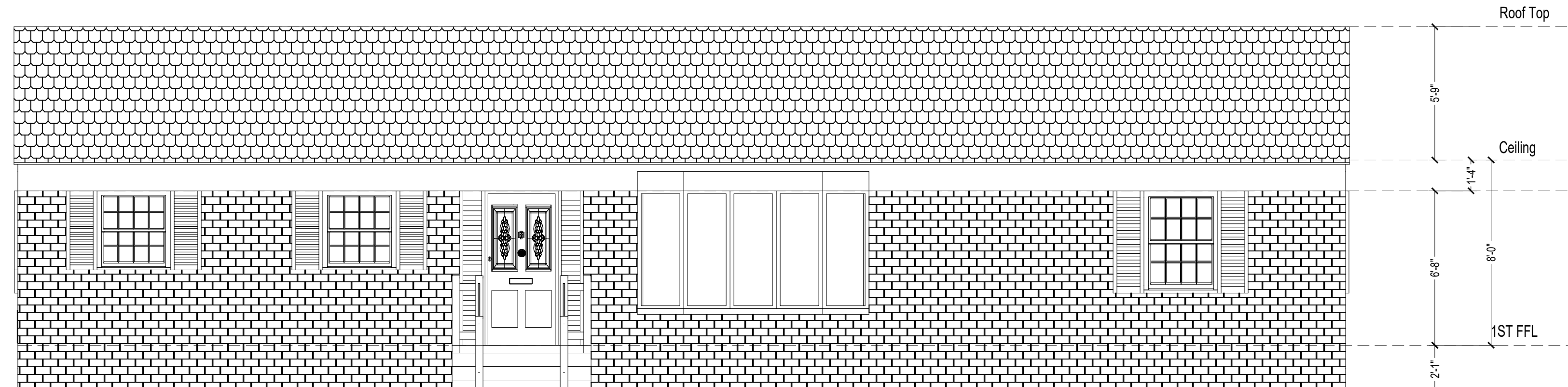
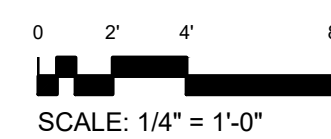


LIVING AREA

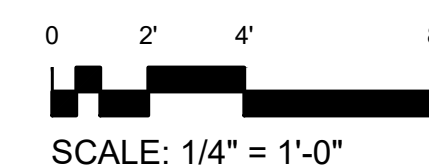
2,010.00 SQ FT CONDITIONED



EXISTING BASEMENT FLOOR PLAN



1 EXISTING FRONT ELEVATION



REVISIONS BY

Address: 833 PAYNES CREEK RD
LANCASTER, VIRGINIA

Sheet content :
EXISTING FIRST FLOOR PLAN
EXISTING FRONT ELEVATION

Project :
HOUSE
RENOVATION/ADDITION

Owner:
TAYLOR-SANDERS

Date: 27/01/2025

Scale: 1/4"=1' U.N.O.

Drawn: Kevin Cañas

Job: House Renovation

Sheet

A-03

REVISIONS	BY

Address: 833 PAYNES CREEK RD
LANCASTER, VIRGINIA

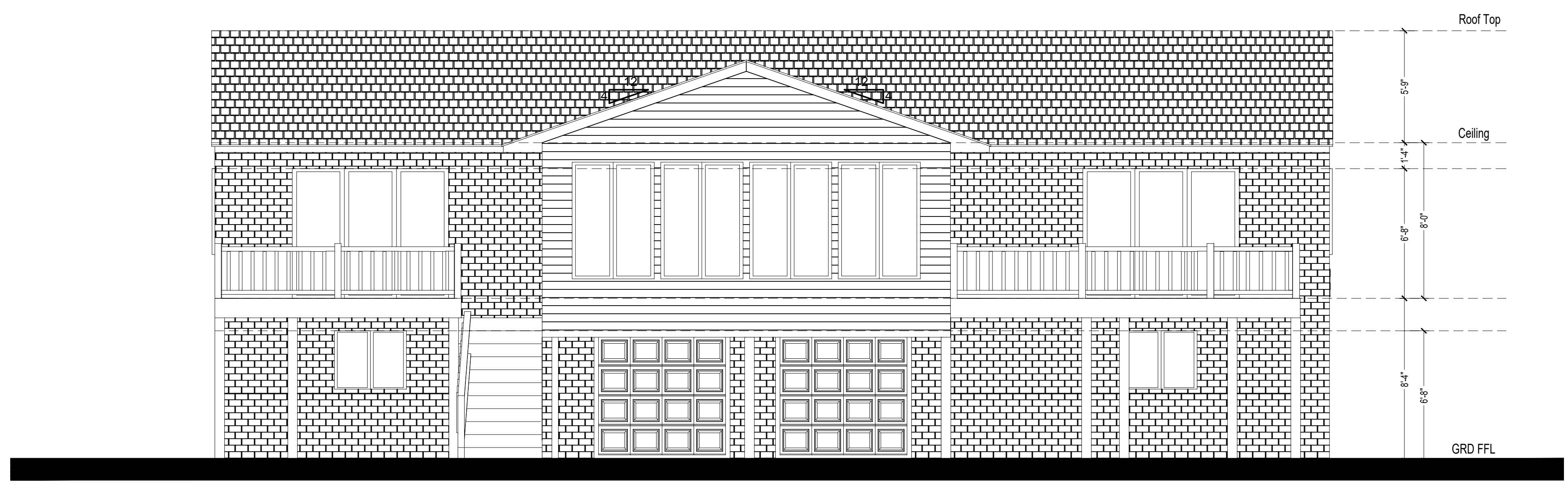
Sheet content :
EXISTING BACK & SIDES
ELEVATIONS

Project :
HOUSE
RENOVATION/ADDITION

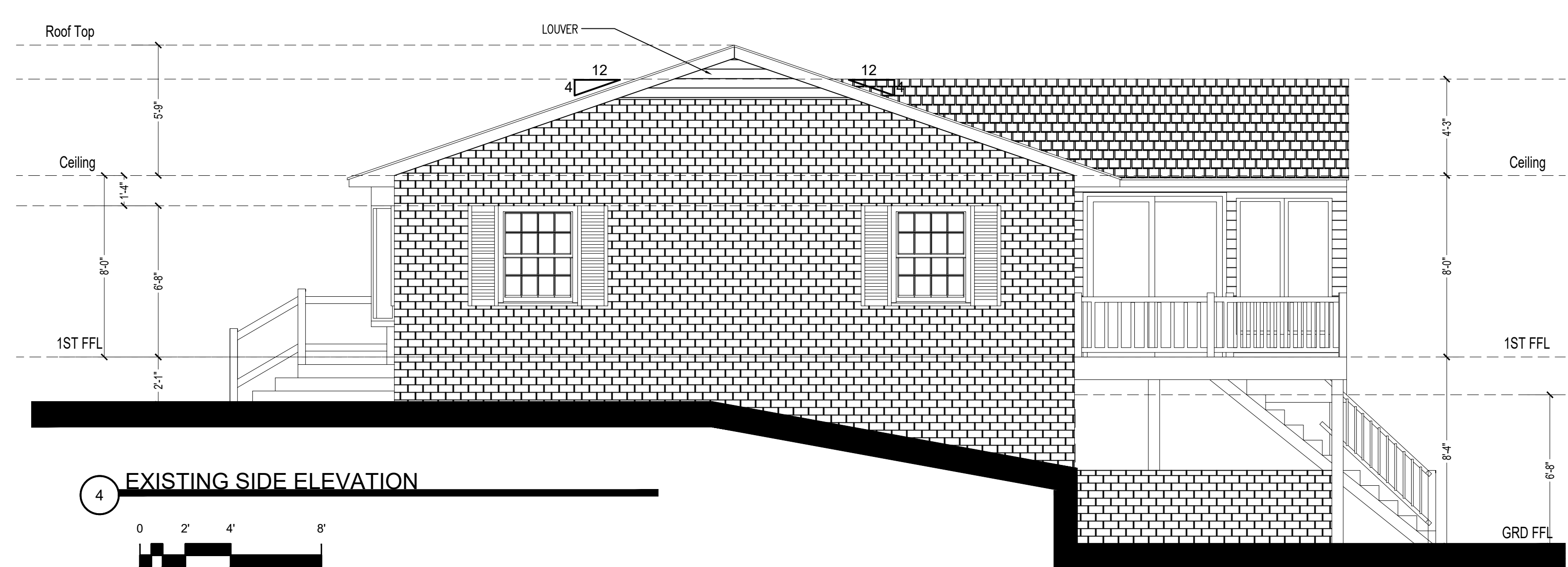
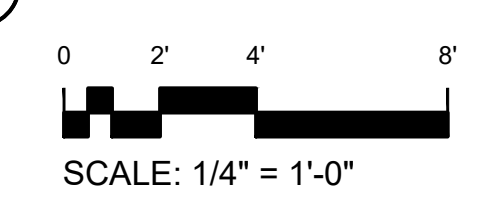
Owner:
TAYLOR-SANDERS

Date: 27/01/2025
Scale: 1/4"=1' U.N.O.
Drawn: Kevin Cañas
Job: House Renovation

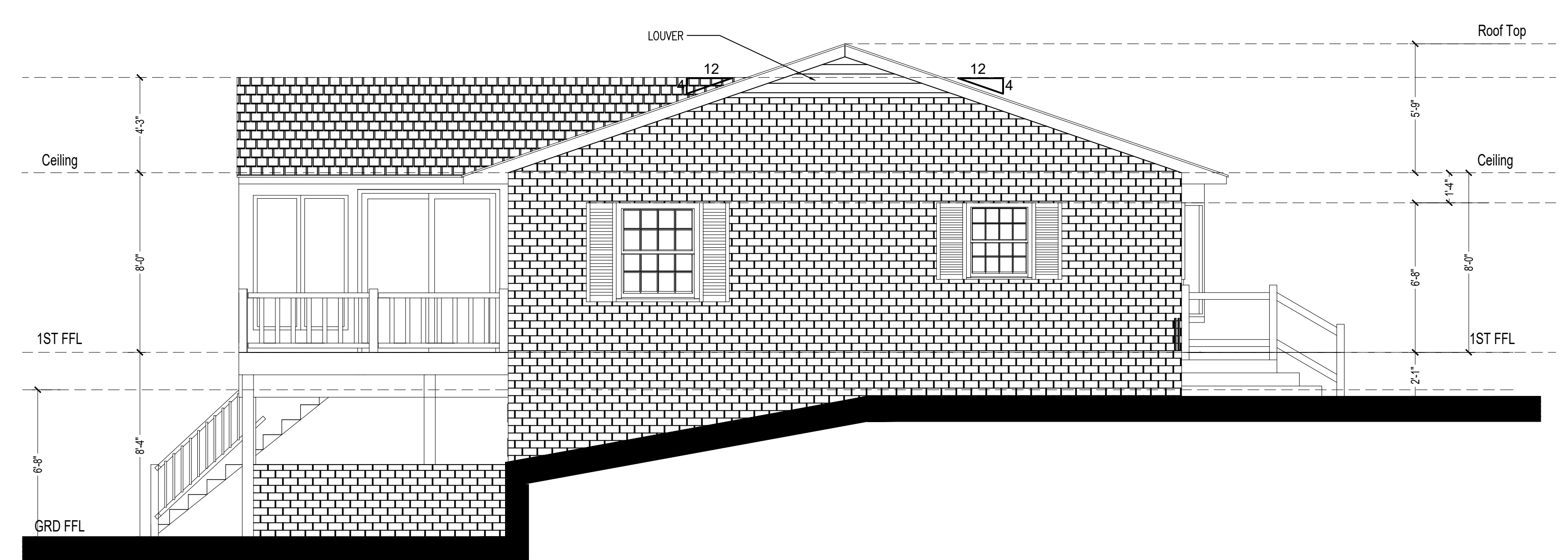
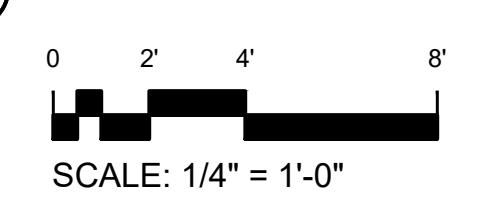
Sheet
A-04



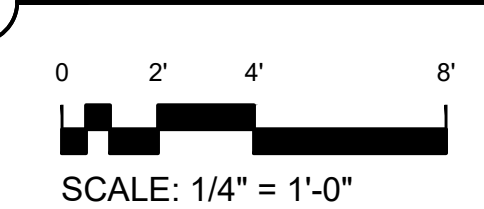
2 EXISTING BACK ELEVATION

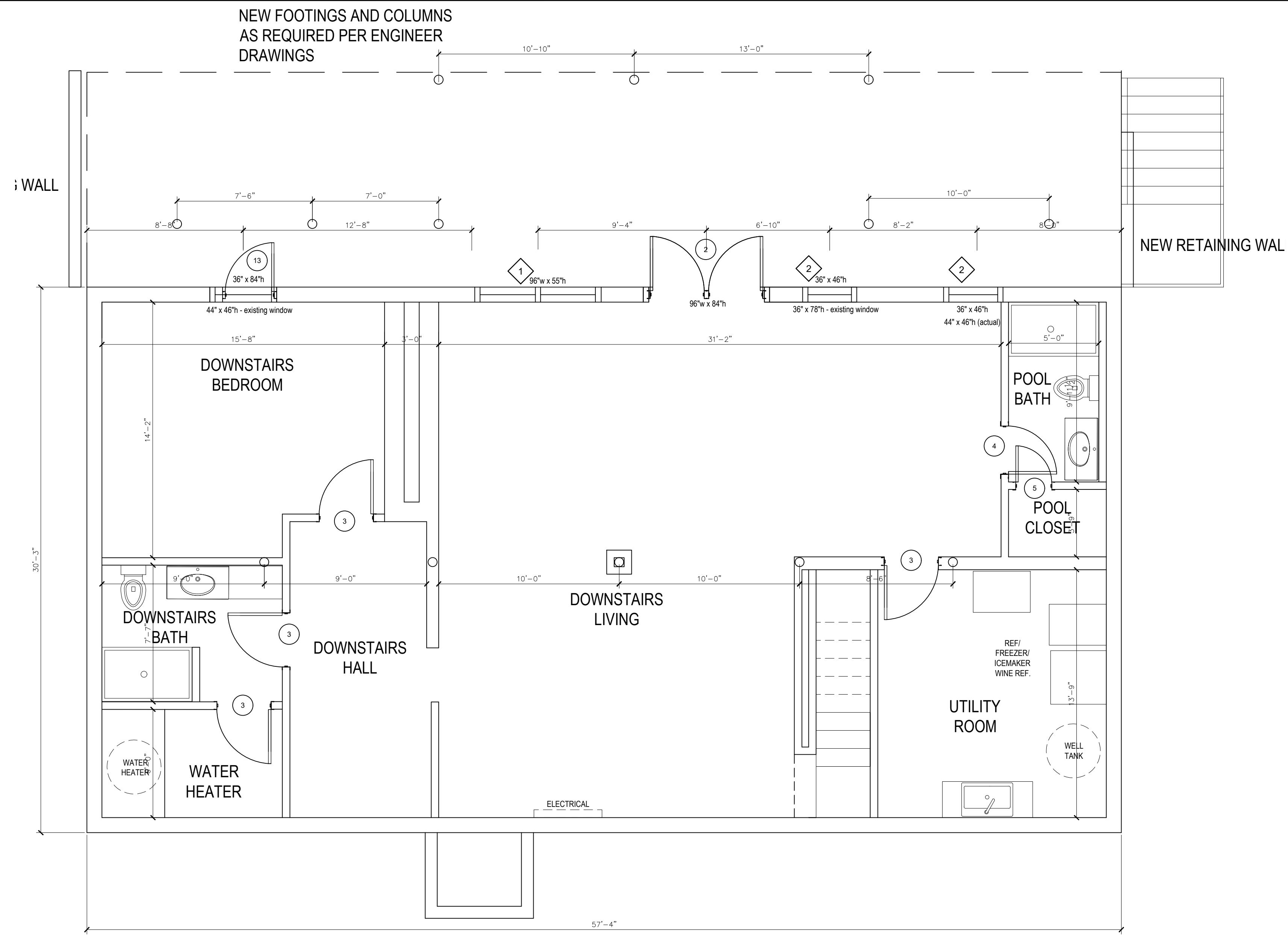


4 EXISTING SIDE ELEVATION

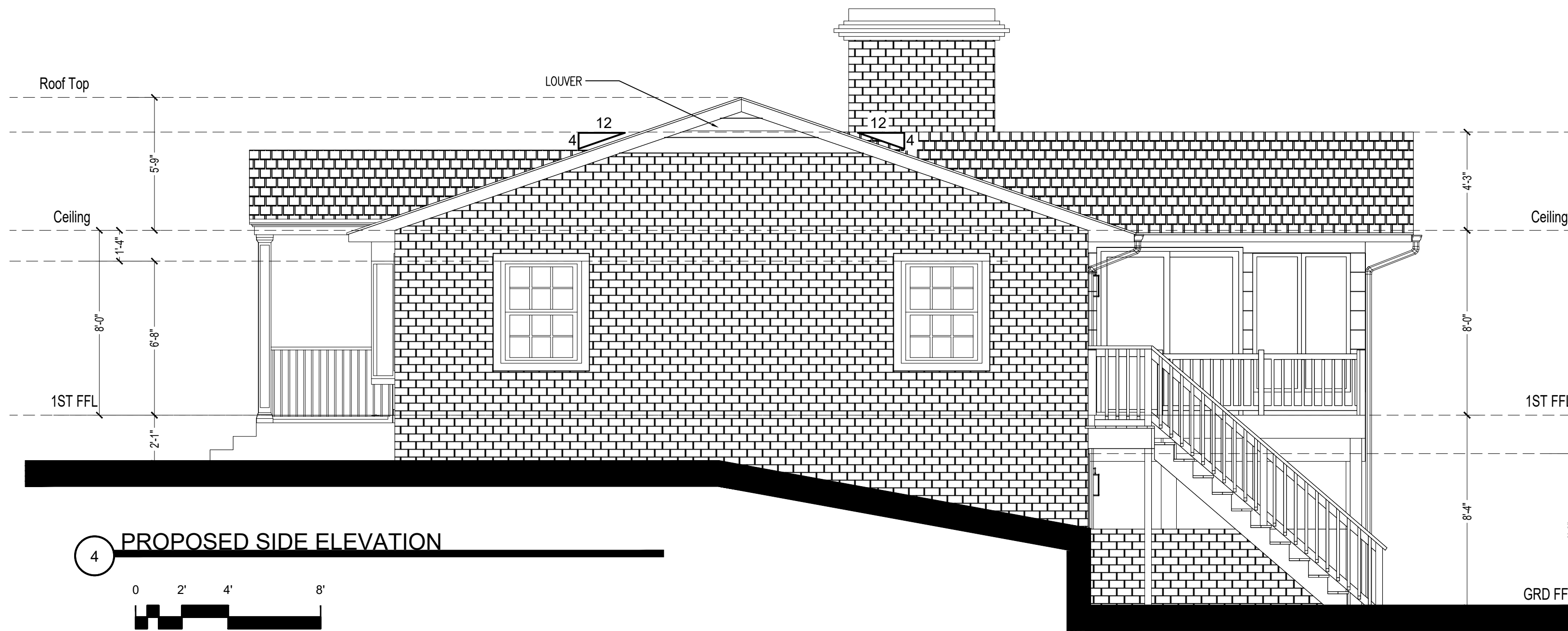
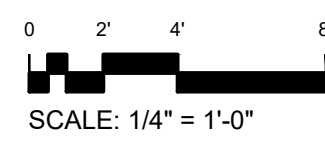


3 EXISTING SIDE ELEVATION

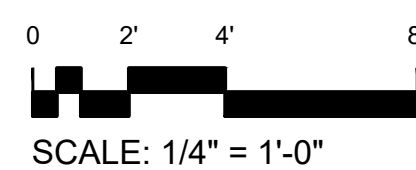




PROPOSED BASEMENT FLOOR PLAN



PROPOSED SIDE ELEVATION



REVISIONS	BY

Address: 833 PAYNES CREEK RD
LANCASTER, VIRGINIA

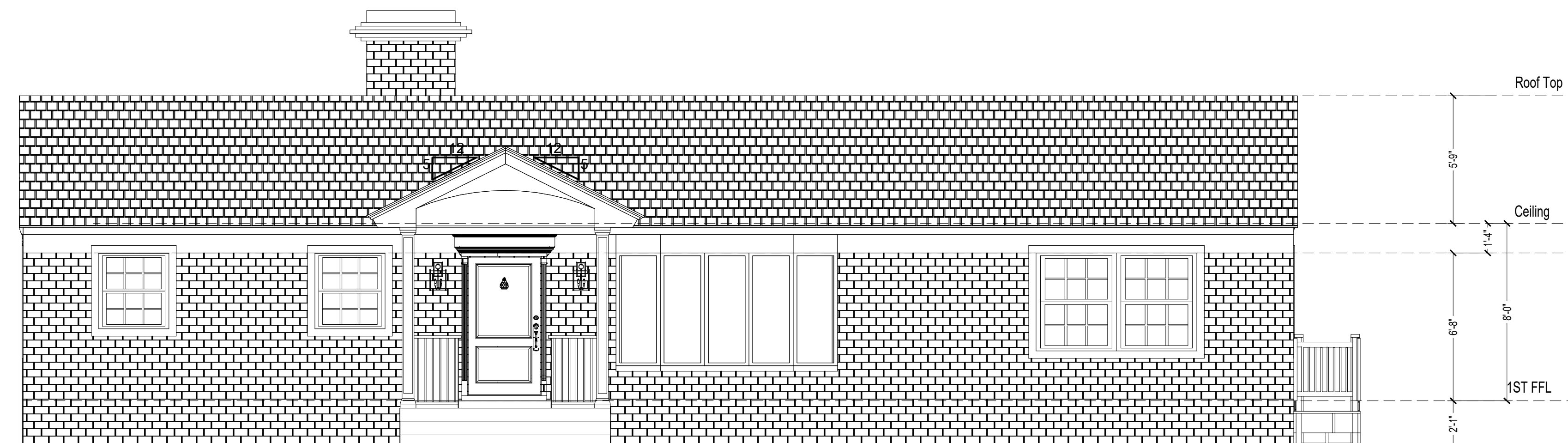
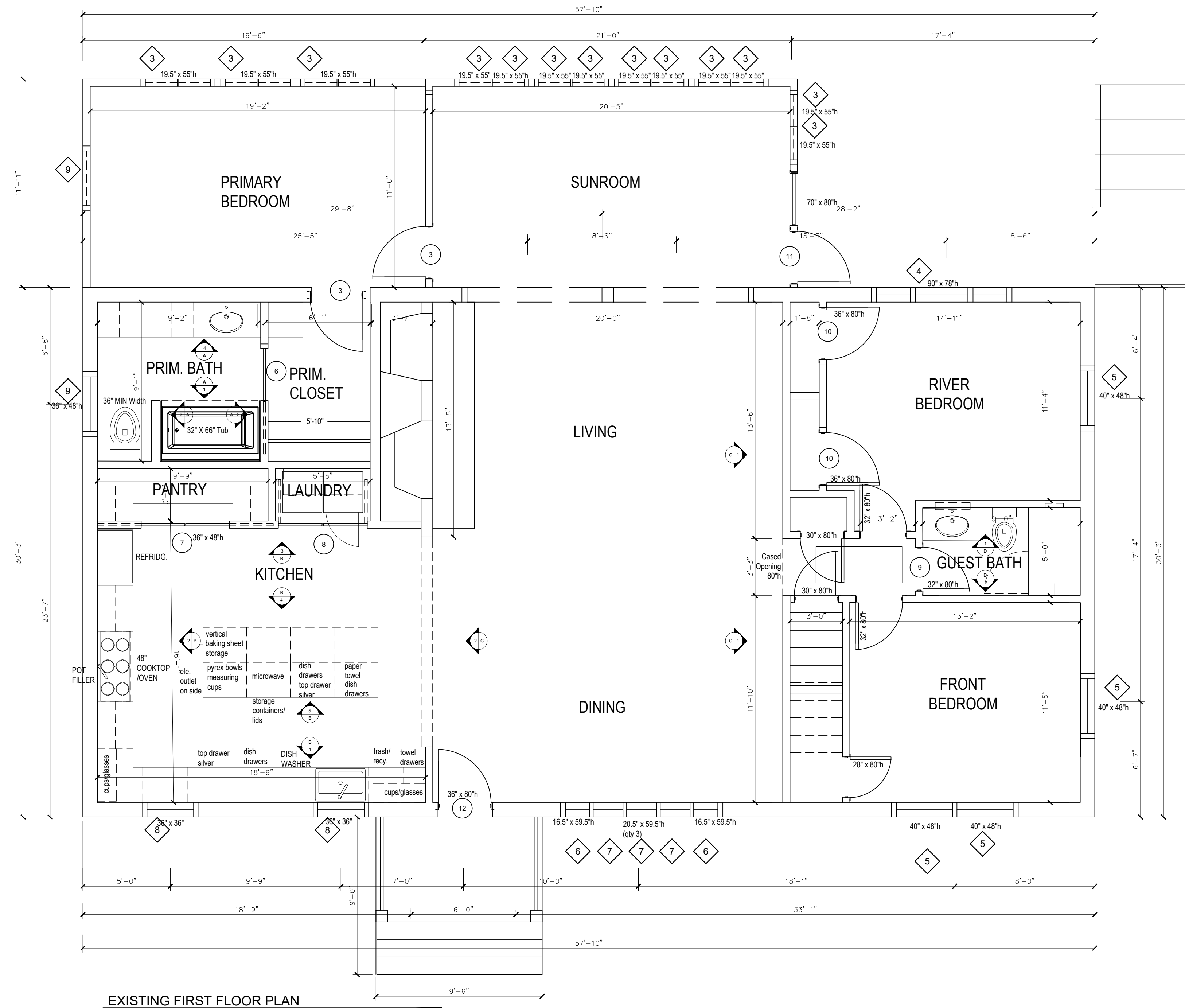
Sheet content : PROPOSED BASEMENT FLOOR PLAN
PROPOSED SIDE ELEVATION

Project : HOUSE RENOVATION/ADDITION

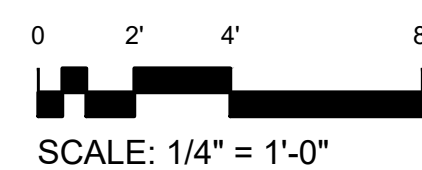
Owner: TAYLOR-SANDERS

Date: 27/01/2025
Scale: 1/4"=1' U.N.O.
Drawn: Kevin Cañas
Job: House Renovation

Sheet A-05



1 PROPOSED FRONT ELEVATION



REVISIONS BY

Address: 833 PAYNES CREEK RD
LANCASTER, VIRGINIA

Sheet content : PROPOSED FIRST FLOOR PLAN
PROPOSED FRONT ELEVATION

Project : HOUSE RENOVATION/ADDITION

Owner: TAYLOR-SANDERS

Date: 27/01/2025

Scale: 1/4"=1' U.N.O.

Drawn: Kevin Cañas

Job: House Renovation

Sheet

A-06

REVISIONS	BY

Address: 833 PAYNES CREEK RD
LANCASTER, VIRGINIA

Sheet content :
PROPOSED BACK & SIDE
ELEVATION

Project :
HOUSE
RENOVATION/ADDITION

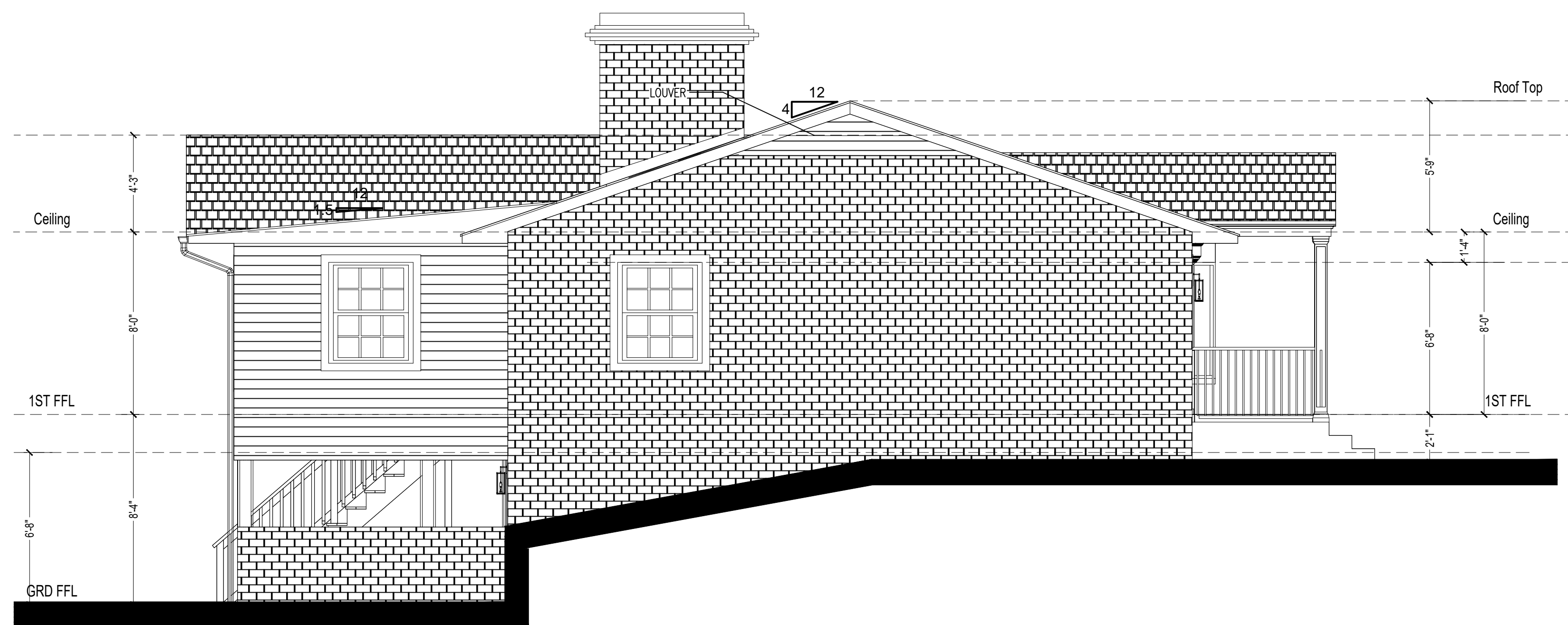
Owner:
TAYLOR-SANDERS

Date: 27/01/2025
Scale: 1/4"=1' U.N.O.
Drawn: Kevin Cañas
Job: House Renovation

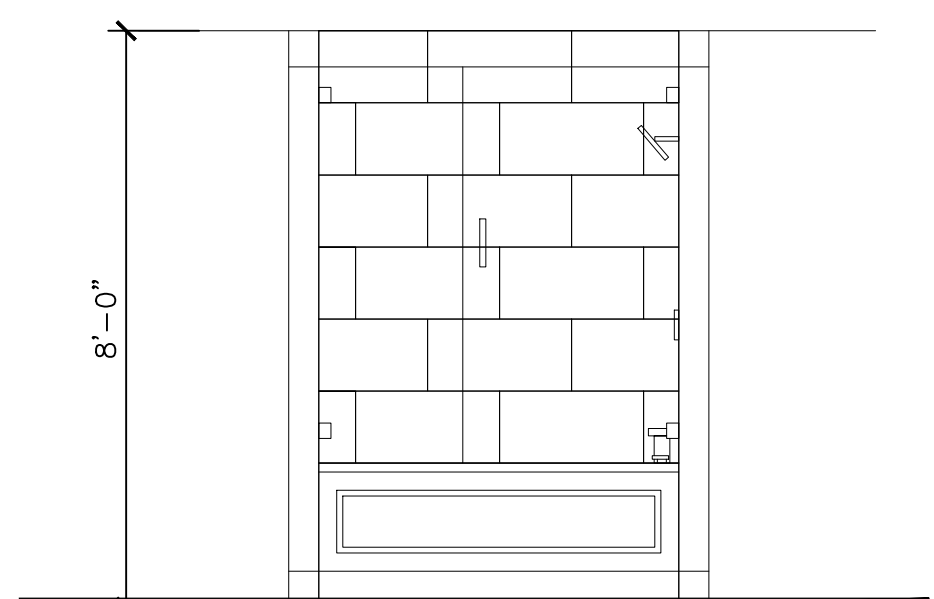
Sheet
A-07



2 PROPOSED BACK ELEVATION
0 2' 4' 8'
SCALE: 1/4" = 1'-0"

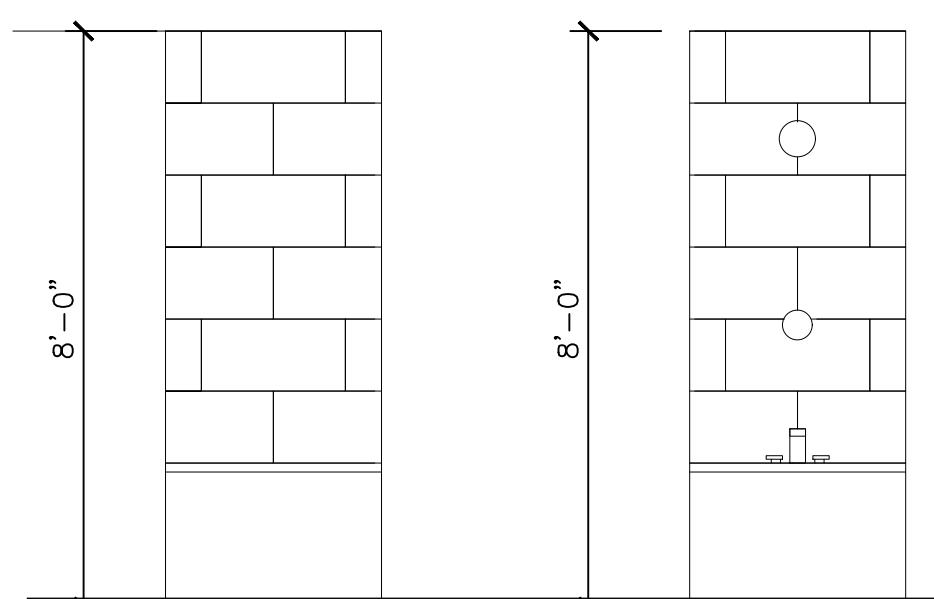


3 PROPOSED SIDE ELEVATION
0 2' 4' 8'
SCALE: 1/4" = 1'-0"



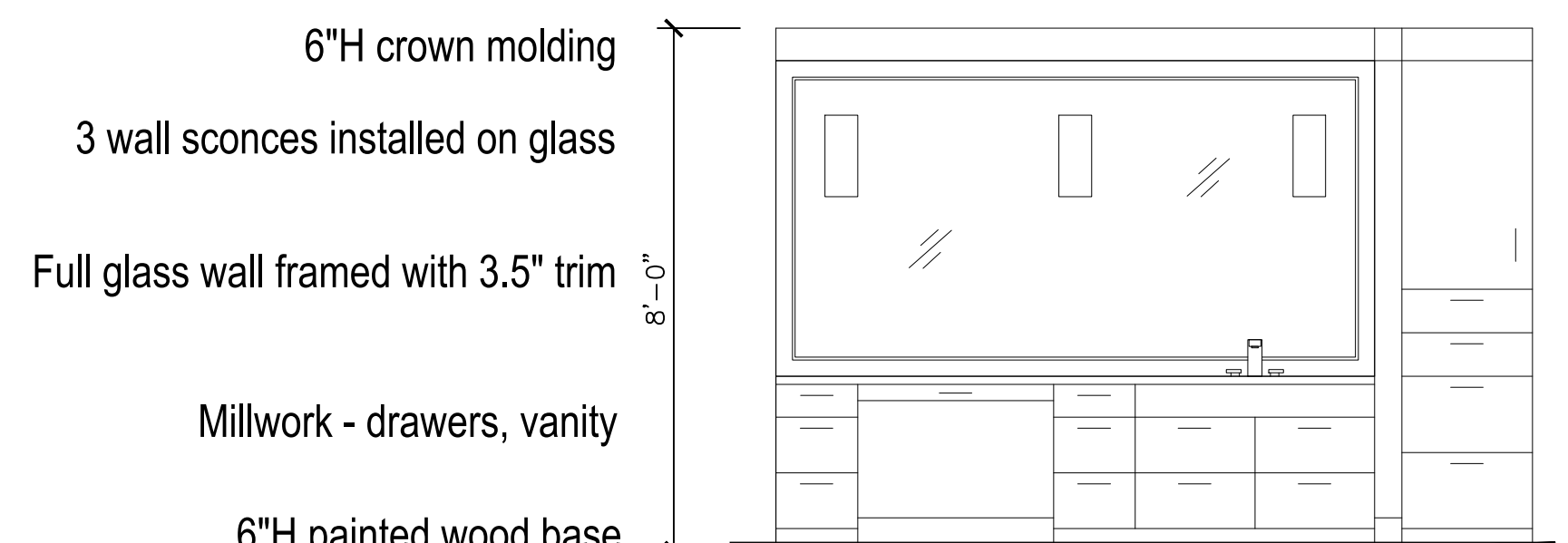
6"H crown molding on adjacent wall
 12" x 24" Limestone tile - brick pattern - center pattern on each wall
 Glass shower doors - align with 6"h crown molding ~5'-6"h overall
 Wood molding/tub front - may need access panels
 6"H painted wood base

A.1 MASTER BATH



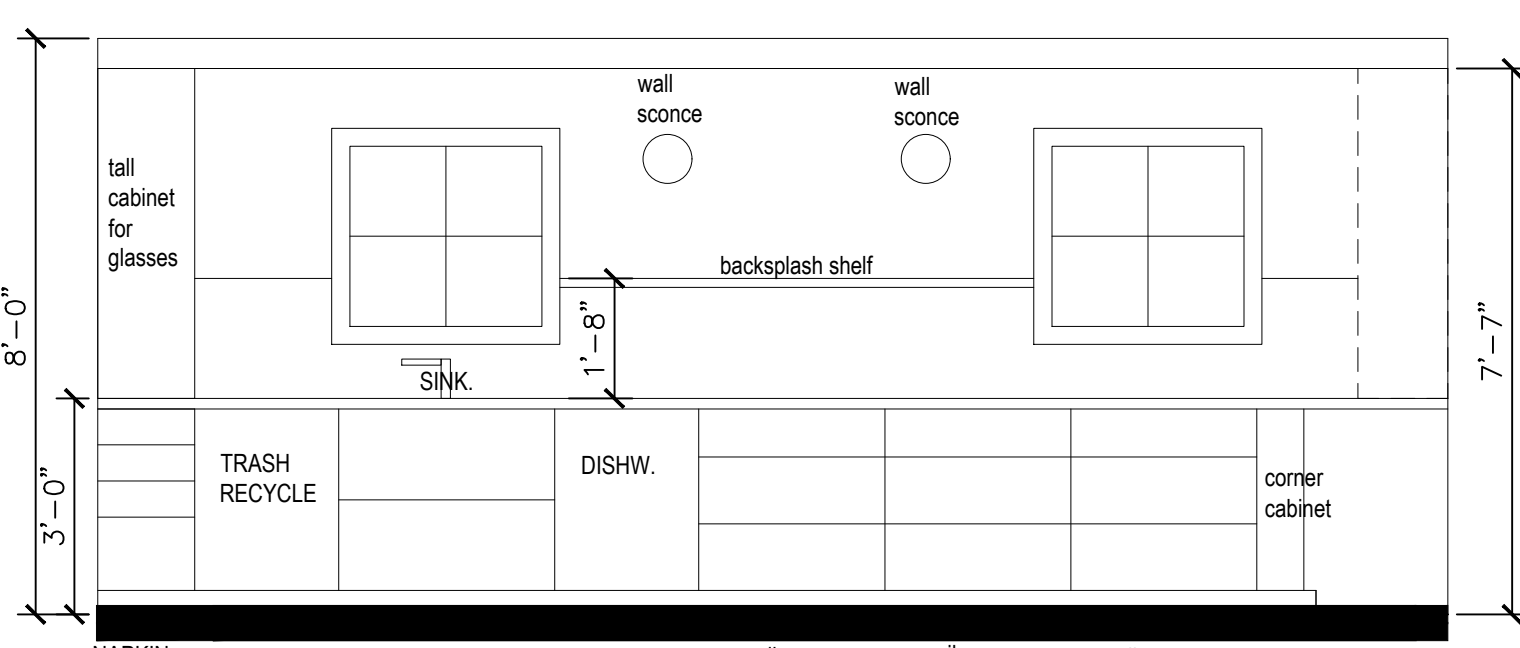
40 pcs Limestone 12 x 24
 ~80 pcs 12" x 24" Limestone (for floor/wall patterns)
 - 90 pcs total = 10 pcs overage
 ~34 pcs 18" x 18" Limestone (for floor pattern)
 - 50 pcs total = 16 pcs overage

A.2 MASTER BATH A.3 MASTER BATH

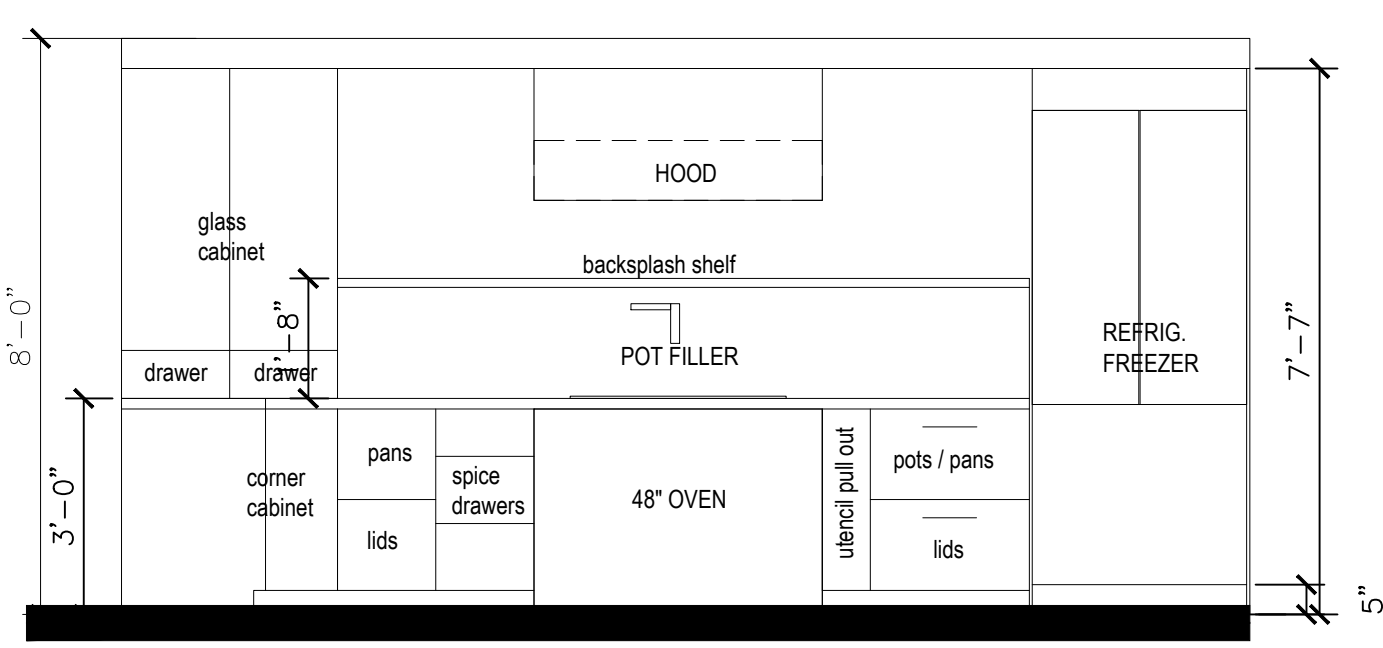


6"H crown molding
 3 wall sconces installed on glass
 Full glass wall framed with 3.5" trim
 Millwork - drawers, vanity
 6"H painted wood base
 6"H crown molding
 Millwork upper cabinet
 Millwork drawers - note all drawers with soft closers
 Millwork lower cabinet
 6"H painted wood base

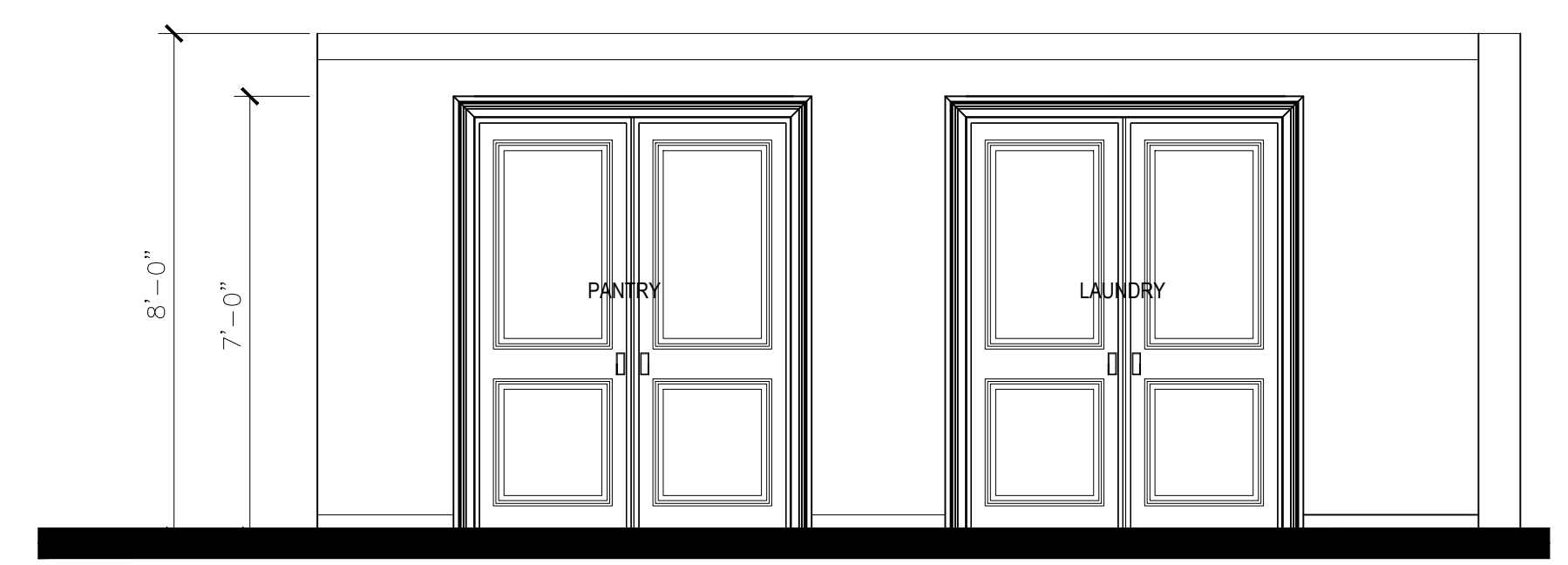
A.4 MASTER BATH



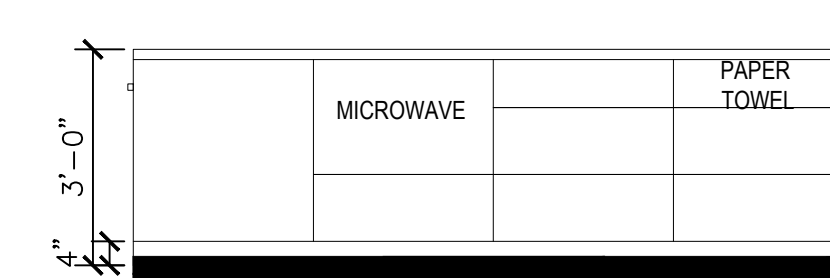
B.1 KITCHEN ELEVATION - SOUTH



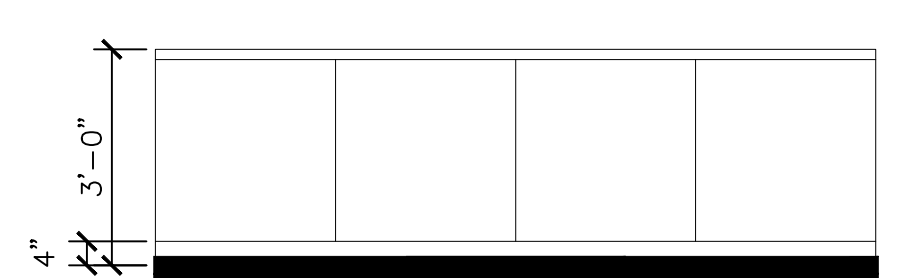
B.2 KITCHEN ELEVATION - WEST



B.3 KITCHEN ELEVATION - NORTH



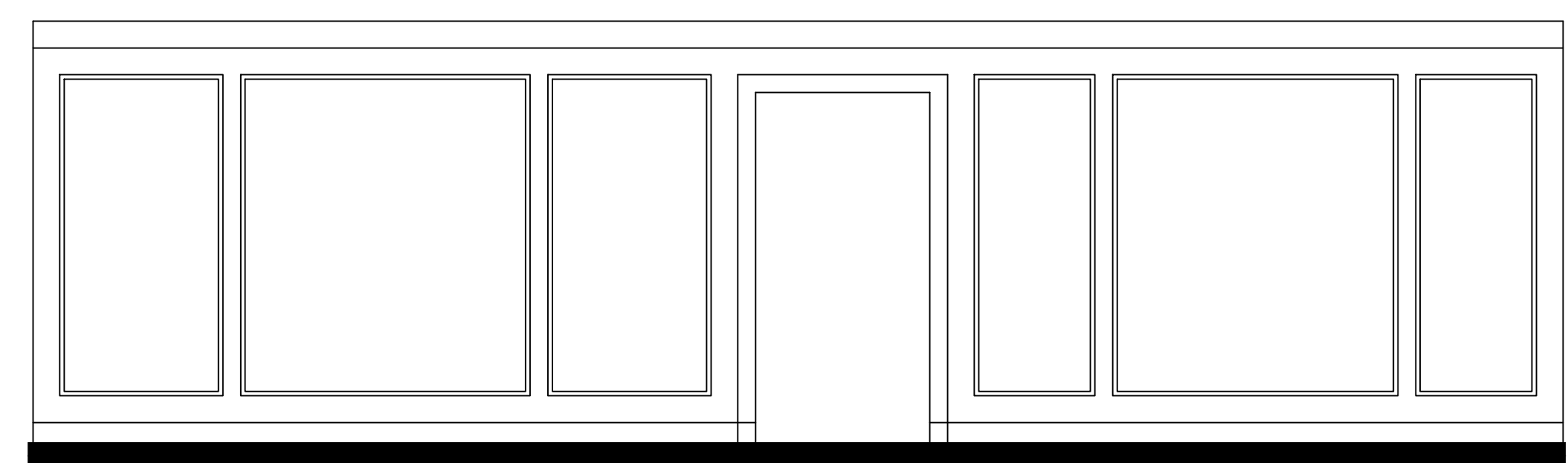
B.4 KITCHEN ISLAND - NORTH



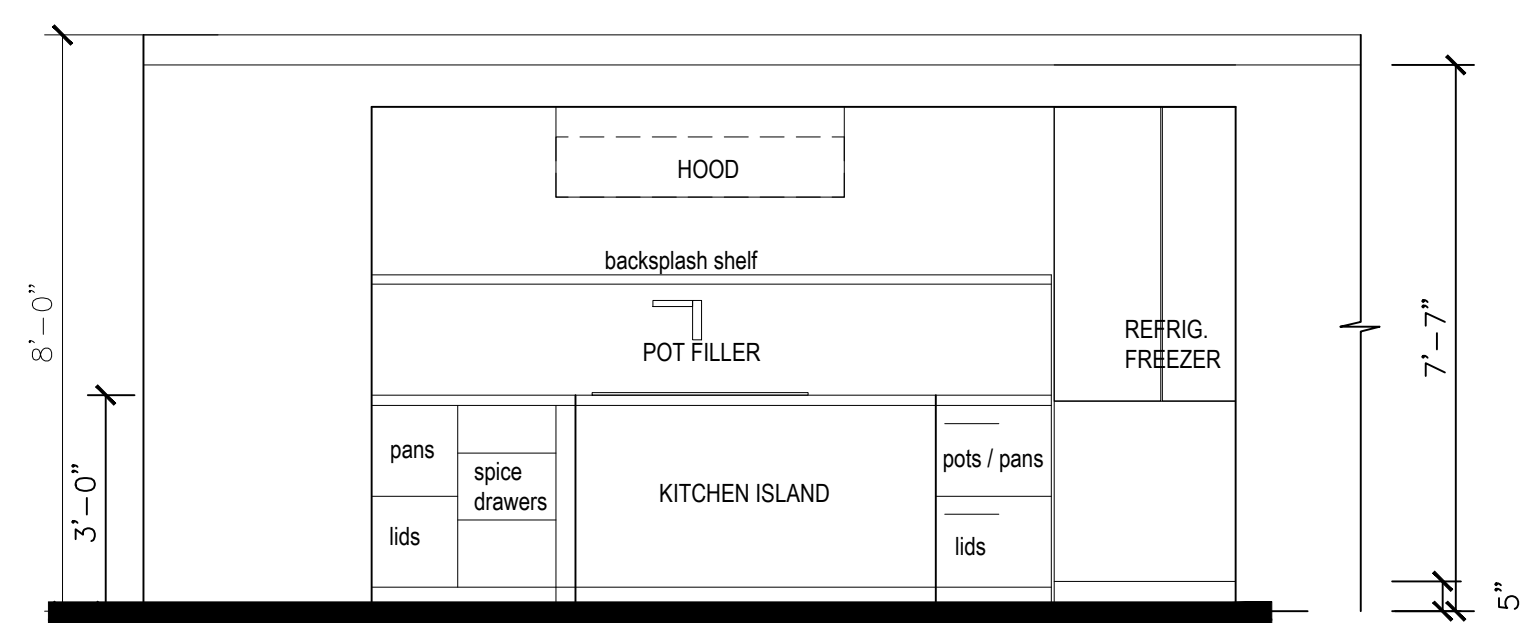
B.5 KITCHEN ISLAND - SOUTH

WINDOW SCHEDULE									
MARK	SIZE		Operation	New/Exist	Series	Qty	Glass	Tempered	Egress
	Width	HEIGHT							
1	8'-0"	4'-7"	PICTURE	N		1	Cir.		
2	3'-0"	3'-10"	PICTURE-SLIDER	N		2	Cir.		YES
3	1'-7 1/2"	4'-7"	PICTURE	N		16	Cir.		
4	7'-6"	6'-6"	PICTURE-SLIDER	N		1	Cir.		YES
5	3'-4"	4'-0"	DOUBLE-HUNG	N		4	Cir.		YES
6	1'-4 1/2"	4'-7 1/2"	PICTURE	EXIST		2	Cir.		YES
7	1'-8 1/2"	4'-7 1/2"	PICTURE	N		1	Cir.		YES
8	3'-0"	3'-0"	DOUBLE-HUNG	EXIST		1	Cir.		
9	3'-0"	4'-0"	DOUBLE-HUNG	N		2	Cir.		YES

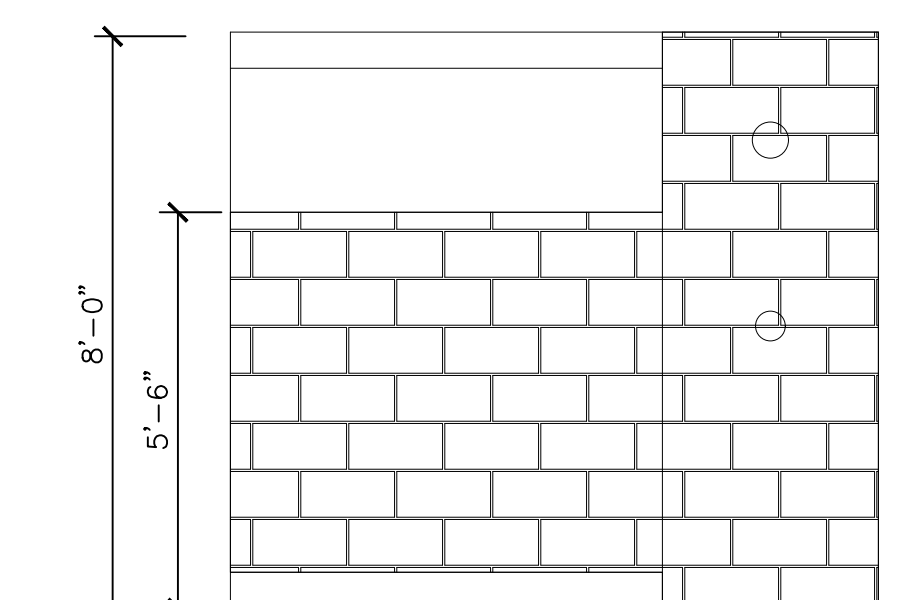
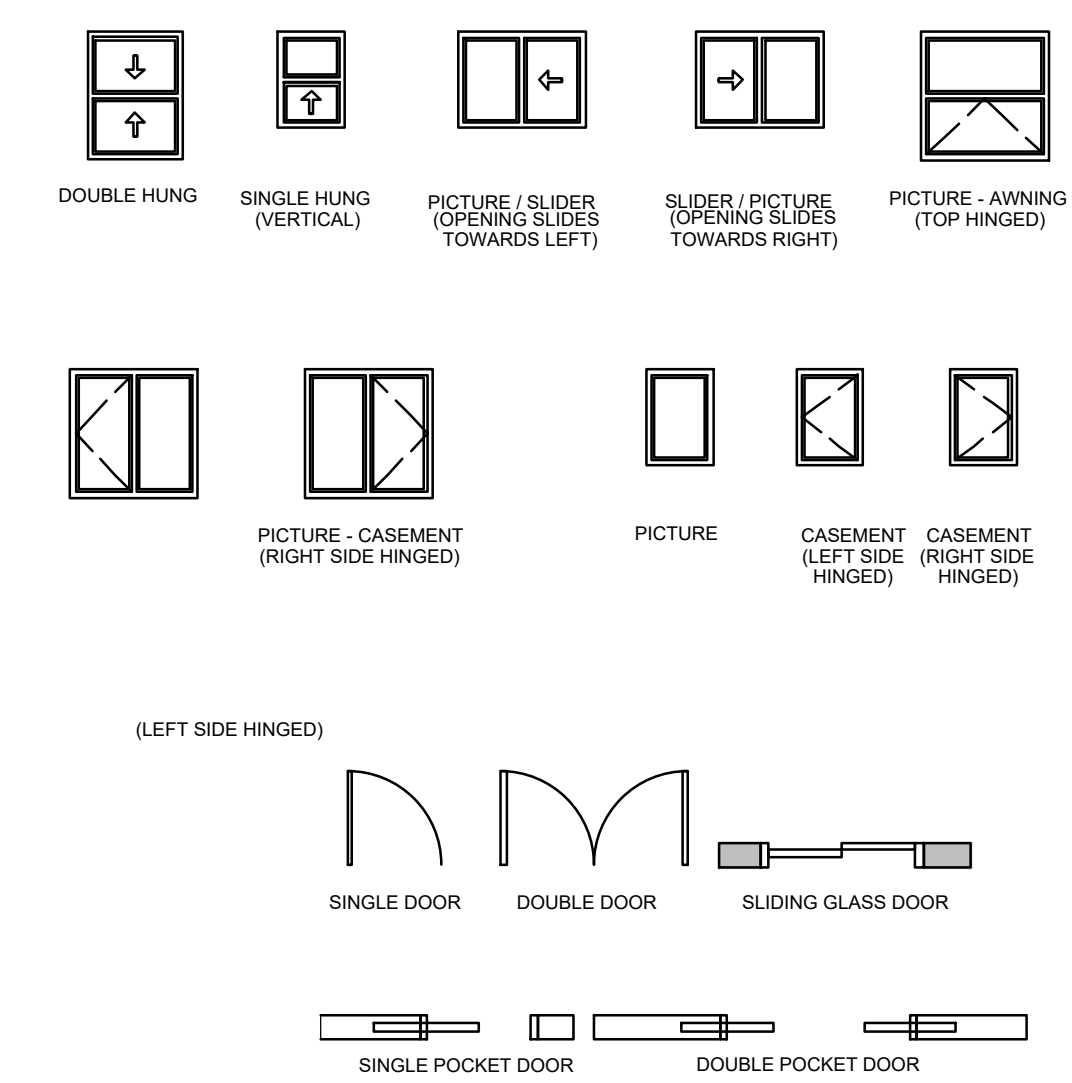
DOOR SCHEDULE									
MARK	SIZE		Operation	New/Exist	Series	Qty	Glass	Tempered	Egress
	Width	HEIGHT							
1	3'-0"	7'-0"	SINGLE-SWING	N		1	Wood		YES
2	8'-0"	7'-0"	DOUBLE-SWING	N		1	Cir.		YES
3	3'-0"	7'-0"	SINGLE-SWING	N		6	Cir.		
4	2'-8"	7'-0"	SINGLE-SWING	N		1	Wood		
5	2'-0"	7'-0"	SINGLE-SWING	N		1	Wood		
6	3'-6"	7'-0"	SINGLE-POCKET	N		1	Wood		
7	5'-0"	7'-0"	DOUBLE-POCKET	N		1	Wood		
8	5'-0"	7'-0"	DOUBLE-POCKET	N		1	Wood		
9	2'-8"	7'-0"	SINGLE-SWING	N		1	Wood		
10	3'-0"	7'-0"	SINGLE-SWING	N		2	Wood		
11	5'-10"	7'-0"	SINGLE-SWING	N		1	Cir.		YES
12	3'-2"	7'-0"	SINGLE-SWING	N		1	Wood		YES
13	3'-0"	7'-0"	SINGLE-SWING	N		1	Cir.		YES



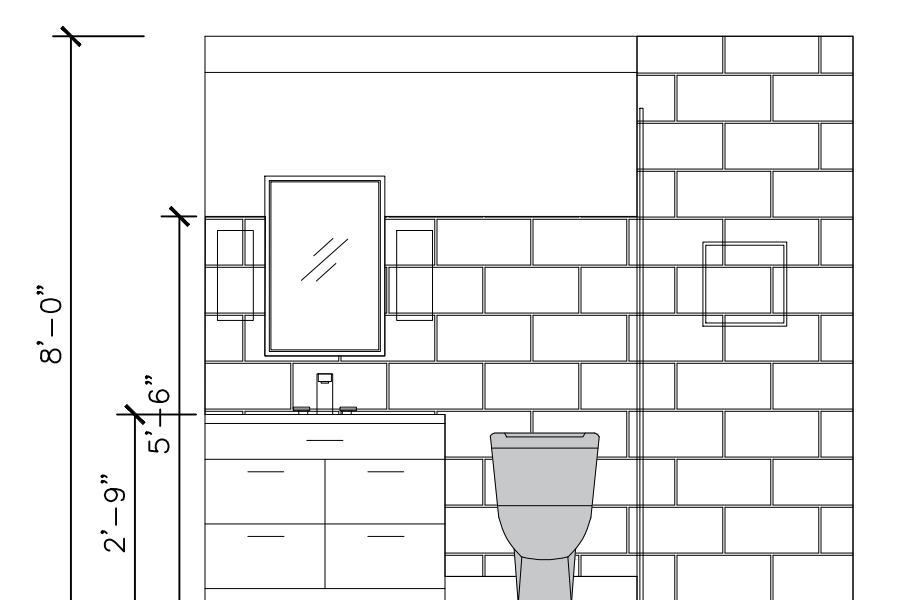
C.3 LIVING ROOM - EAST ELEVATION



C.2 LIVINGROOM ELEVATION - WEST



D.2 GUEST BATH - SOUTH ELEVATION



D.1 GUEST BATH - NORTH ELEVATION

REVISIONS	BY
Address:	833 PAYNES CREEK RD LANCASTER, VIRGINIA
Sheet content :	INTERIOR ELEVATIONS WINDOWS & DOOR SCHEDULE
Project :	HOUSE RENOVATION/ADDITION
Owner:	TAYLOR-SANDERS
Date:	27/01/2025
Scale:	1/4"=1' U.N.O.
Drawn:	Kevin Cañas
Job:	House Renovation
Sheet	A-08

REVISIONS	BY

Address: 833 PAYNES CREEK RD
LANCASTER, VIRGINIA

Sheet content : PROPOSED DEMOLITION
BASEMENT FLOOR PLAN

Project : HOUSE
RENOVATION/ADDITION

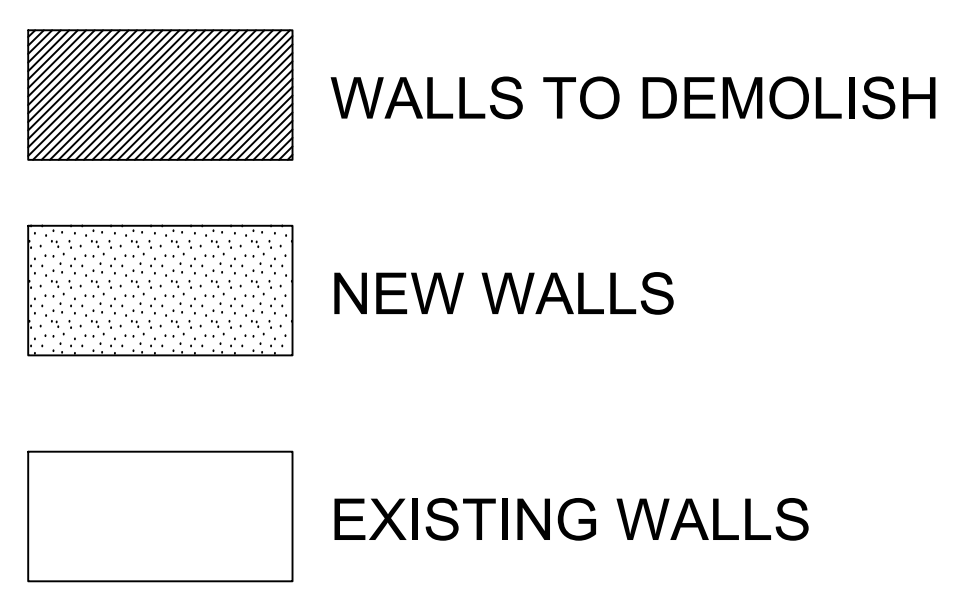
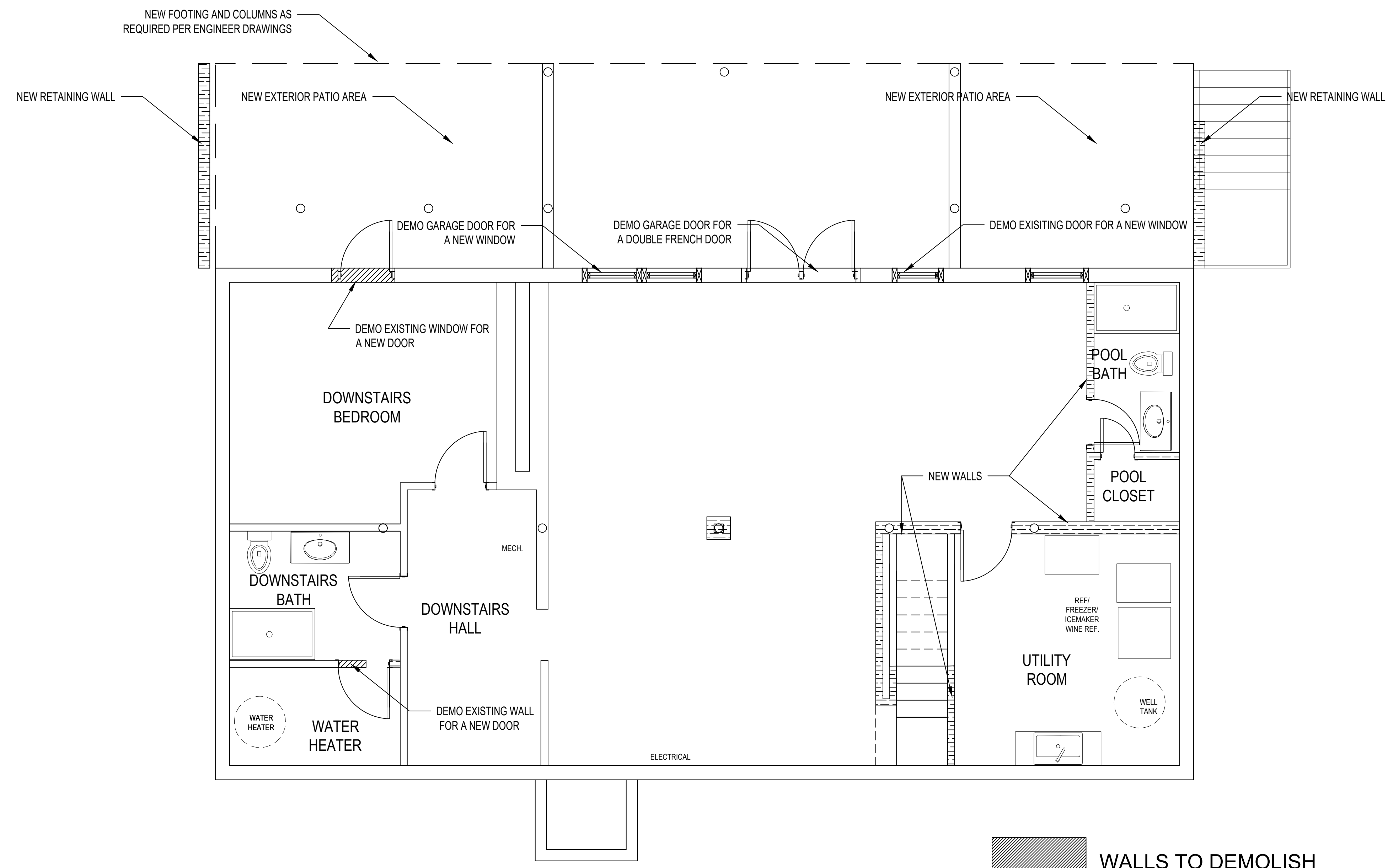
Owner: TAYLOR-SANDERS

Date: 27/01/2025
Scale: 1/4"=1' U.N.O.
Drawn: Kevin Cañas
Job: House Renovation

Sheet
A-09

GENERAL DEMOLITION NOTES:

- G.C. IS RESPONSIBLE FOR ALL NECESSARY DEMOLITION IN ALL AREAS WHERE NEW WORK IS TO BE PERFORMED.
- REMOVE ALL FINISHES ALL THE WALL TO THE STUDS AND SUB FLOORS THROUGHOUT.
- REMOVE EXISTING BATT INSULATION THROUGHOUT.
- REMOVE ALL WINDOWS AND DOORS THROUGHOUT.
- REMOVE ALL PLUMBING FIXTURES THROUGHOUT.
- REMOVE ALL KITCHEN AND LAUNDRY APPLIANCES.
- REMOVE ALL CABINETS AND BUILT INS THROUGHOUT.
- DEMOLITION CONTRACTOR SHALL COMPLY WITH ALL CONSTRUCTION INDUSTRY STANDARD PRACTICE AND TECHNIQUES.
- ALL PIPING AND WIRING TO BE REMOVED SHALL BE DONE TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- DEMOLITION CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE BUILDING. HE SHOULD TAKE ALL PRECAUTIONS NECESSARY TO PREVENT DAMAGE TO THE STRUCTURAL ELEMENTS. NO LOAD BEARING OR OTHER STRUCTURAL MEMBERS MAY BE REMOVED OR ALTERED EXCEPT AS NOTED.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY STRUCTURAL DEFECTS TO THE ARCHITECT.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL SHORING AND BRACING AS REQUIRED TO SUPPORT THE REMAINING STRUCTURE.
- THE CONTRACTOR SHALL ABIDE BY ALL THE SAFETY RULES AND REGULATIONS STIPULATED IN LOCAL, STATE, AND OSHA REGULATIONS.
- ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER. THE CONTRACTOR SHALL CLEAN WORK AREA OF DEBRIS AT THE END OF EACH WORK DAY.
- NO PERMANENT CONSTRUCTION OF ANY TYPE SHALL BE ALLOWED UNTIL CONSTRUCTION PERMIT IS OBTAINED.
- CONTRACTOR SHALL CONSULT WITH THE OWNER IN ADVANCE OF DOING WORK TO DETERMINE DISPOSITION OF ALL FIXTURES, CABINETS, SERVICES, EQUIPMENT AND ITEMS REMOVED DURING THE DEMOLITION. REMOVE EXISTING FURNISHINGS AND EQUIPMENT LEFT BEHIND TO BE DISCARDED BY OWNER.
- WHERE EXISTING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, PARTITIONS, FLOORS AND BASES, DOOR AND WINDOW FRAMES, CEILINGS, CASEWORK, EQUIPMENT, ELECTRICAL AND MECHANICAL DEVICES, FIXTURES AND EQUIPMENT IS REMOVED OR ALTERED, REPAIR ADJACENT SURFACES DISTURBED BY DEMOLITION OR ALTERATION WORK AND PREPARE THESE SURFACES TO RECEIVE NEW SCHEDULED FINISHES. REPAIRS TO SURFACES DEEMED BY THE ARCHITECT AND OWNER TO BE UNSATISFACTORY FOR THE PURPOSE SHALL BE REMOVED AND REPLACED IN KIND.



PROPOSED DEMO BASEMENT FLOOR PLAN
0 2 4 8
SCALE: 1/4" = 1'-0"

REVISIONS	BY

Address: **833 PAYNES CREEK RD
LANCASTER, VIRGINIA**

Sheet content : **PROPOSED DEMOLITION FIRST
FLOOR PLAN**

Project : **HOUSE
RENOVATION/ADDITION**

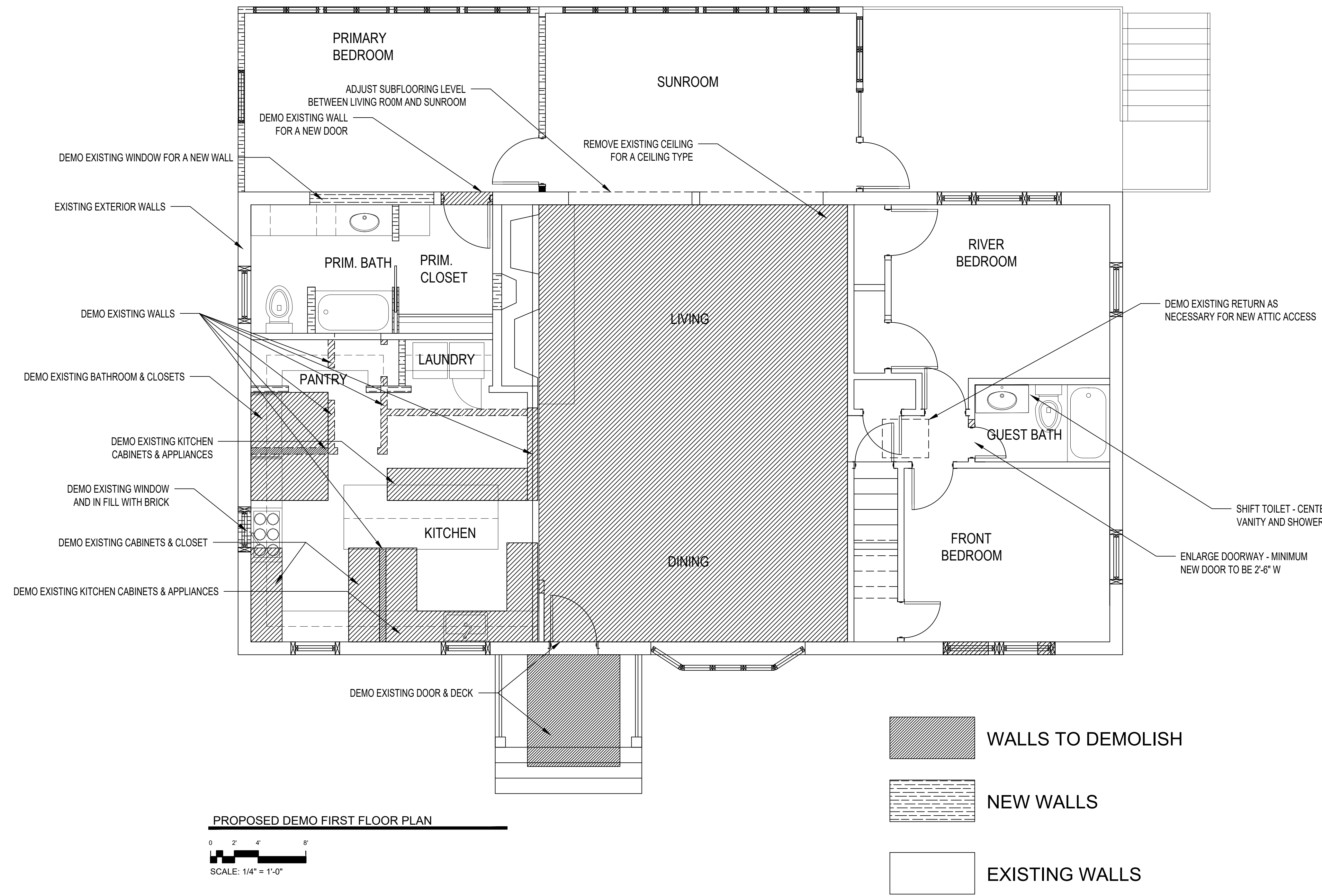
Owner: **TAYLOR-SANDERS**

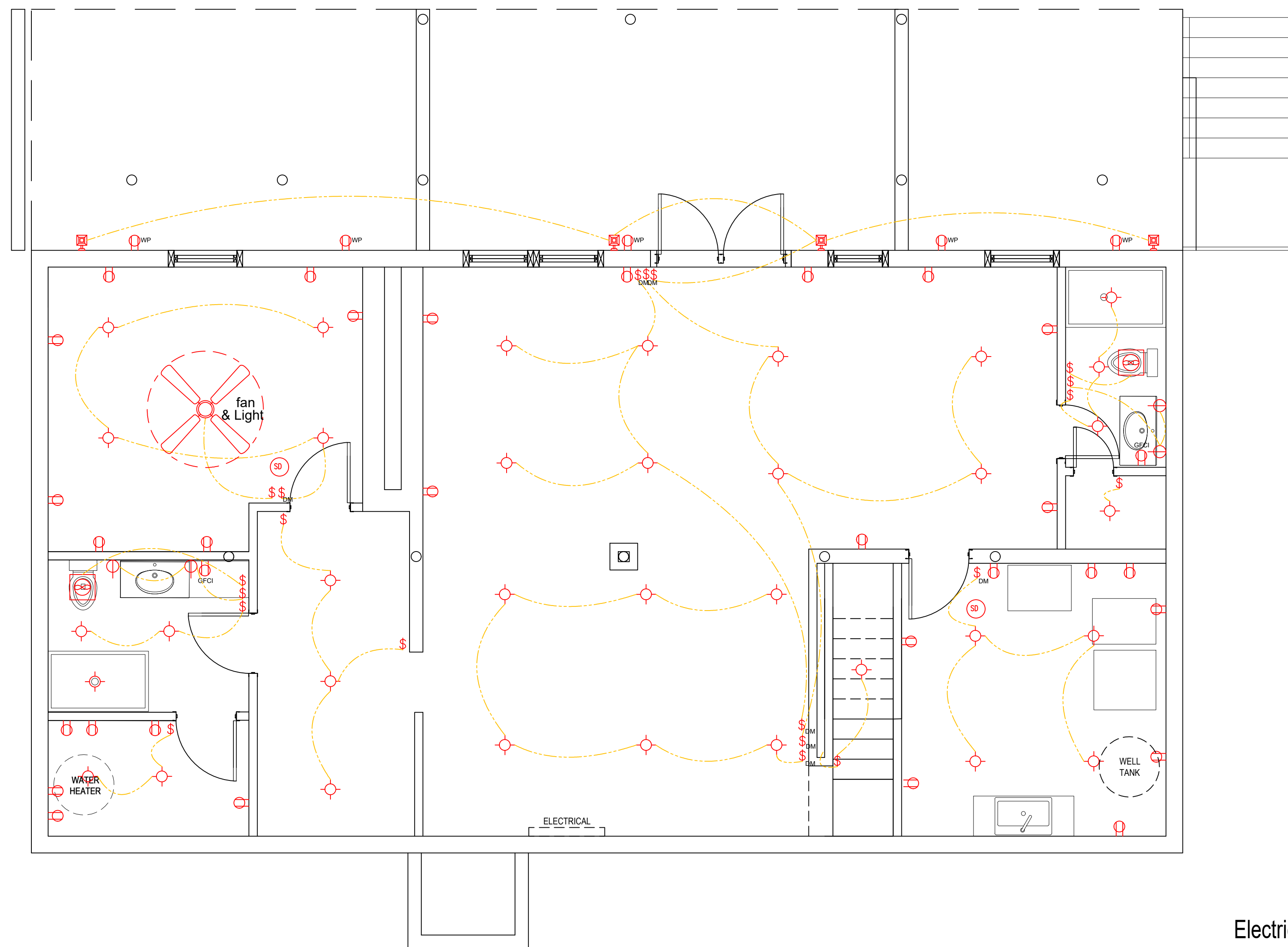
Date: 27/01/2025
Scale: 1/4"=1' U.N.O.
Drawn: Kevin Cañas
Job: House Renovation

Sheet
A-10

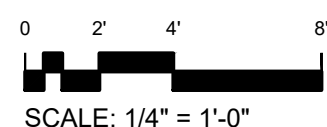
GENERAL DEMOLITION NOTES:

- G.C. IS RESPONSIBLE FOR ALL NECESSARY DEMOLITION IN ALL AREAS WHERE NEW WORK IS TO BE PERFORMED.
- REMOVE ALL FINISHES ALL THE WALL TO THE STUDS AND SUB FLOORS THROUGHOUT.
- REMOVE EXISTING BATT INSULATION THROUGHOUT.
- REMOVE ALL WINDOWS AND DOORS THROUGHOUT.
- REMOVE ALL PLUMBING FIXTURES THROUGHOUT.
- REMOVE ALL KITCHEN AND LAUNDRY APPLIANCES.
- REMOVE ALL CABINETS AND BUILT INS THROUGHOUT.
- DEMOLITION CONTRACTOR SHALL COMPLY WITH ALL CONSTRUCTION INDUSTRY STANDARD PRACTICE AND TECHNIQUES.
- ALL PIPING AND WIRING TO BE REMOVED SHALL BE DONE TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- DEMOLITION CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF THE BUILDING. HE SHOULD TAKE ALL PRECAUTIONS NECESSARY TO PREVENT DAMAGE TO THE STRUCTURAL ELEMENTS. NO LOAD BEARING OR OTHER STRUCTURAL MEMBERS MAY BE REMOVED OR ALTERED EXCEPT AS NOTED.
- THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY STRUCTURAL DEFECTS TO THE ARCHITECT.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL SHORING AND BRACING AS REQUIRED TO SUPPORT THE REMAINING STRUCTURE.
- THE CONTRACTOR SHALL ABIDE BY ALL THE SAFETY RULES AND REGULATIONS STIPULATED IN LOCAL, STATE, AND OSHA REGULATIONS.
- ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER. THE CONTRACTOR SHALL CLEAN WORK AREA OF DEBRIS AT THE END OF EACH WORK DAY.
- NO PERMANENT CONSTRUCTION OF ANY TYPE SHALL BE ALLOWED UNTIL CONSTRUCTION PERMIT IS OBTAINED.
- CONTRACTOR SHALL CONSULT WITH THE OWNER IN ADVANCE OF DOING WORK TO DETERMINE DISPOSITION OF ALL FIXTURES, CABINETS, SERVICES, EQUIPMENT AND ITEMS REMOVED DURING THE DEMOLITION. REMOVE EXISTING FURNISHINGS AND EQUIPMENT LEFT BEHIND TO BE DISCARDED BY OWNER.
- WHERE EXISTING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, PARTITIONS, FLOORS AND BASES, DOOR AND WINDOW FRAMES, CEILINGS, CASEWORK, EQUIPMENT, ELECTRICAL AND MECHANICAL DEVICES, FIXTURES AND EQUIPMENT IS REMOVED OR ALTERED, REPAIR ADJACENT SURFACES DISTURBED BY DEMOLITION OR ALTERATION WORK AND PREPARE THESE SURFACES TO RECEIVE NEW SCHEDULED FINISHES. REPAIRS TO SURFACES DEEMED BY THE ARCHITECT AND OWNER TO BE UNSATISFACTORY FOR THE PURPOSE SHALL BE REMOVED AND REPLACED IN KIND.





PROPOSED ELECTRICAL BASEMENT FLOOR PLAN



"ELECTRICAL LOCATIONS ON THIS FLOOR PLAN ARE SUBJECT TO CHANGE. LOCATIONS AND QUANTITY MAY DIFFER FROM PLAN DETAIL DEPENDING ON CODE/ FRAMING RESTRICTIONS AND SERIES SPECIFICATIONS. OUTLETS REQUIRED BY CODE CANNOT BE MOVED OR DELETED."

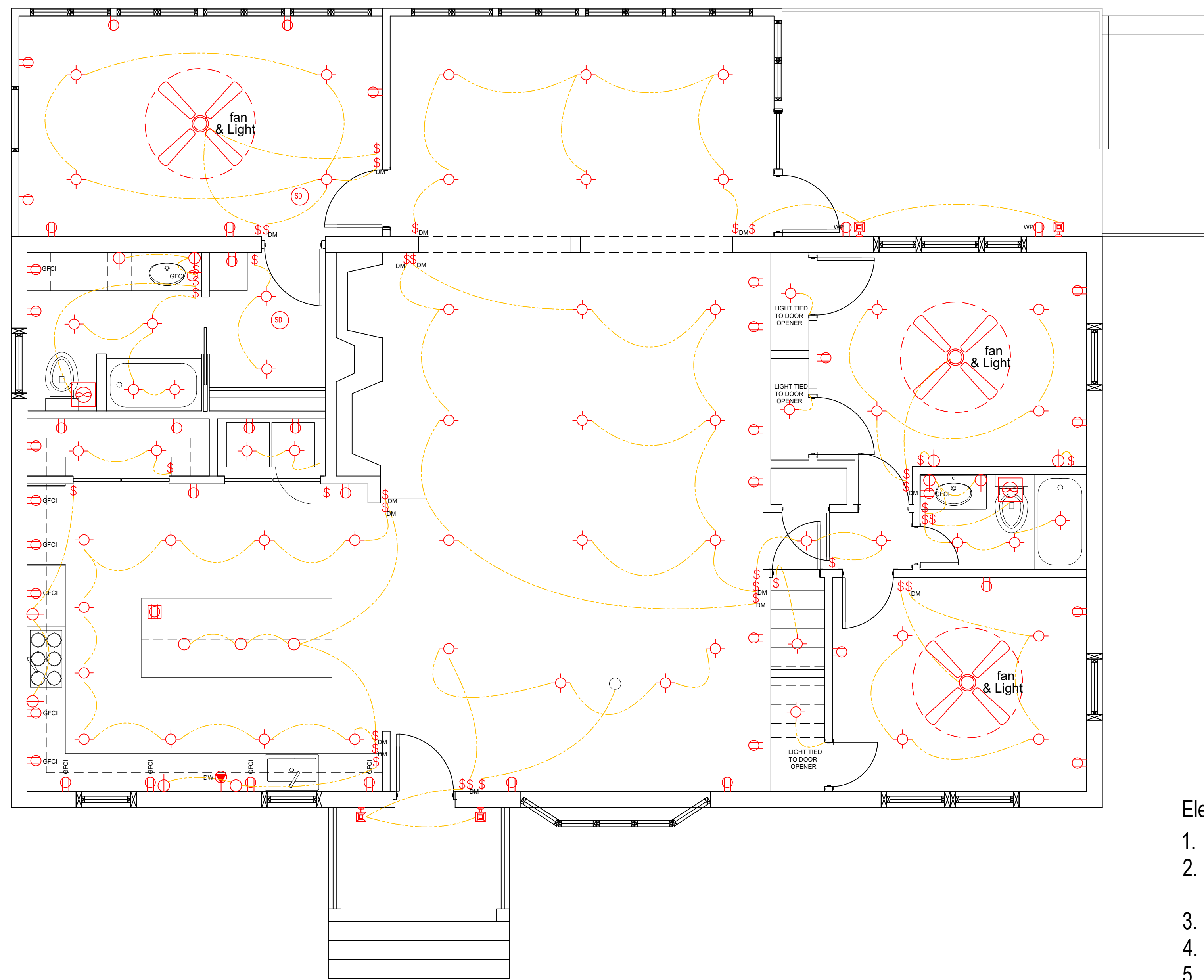
"ALL RECESSED LIGHTS IN LIVING ROOM, SUNROOM, BEDROOMS KITCHEN SHOULD BE ON DIMMERS."

Electrical Systems:

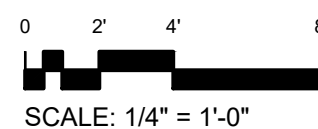
1. Inspection is required prior to backfill of lines.
2. Provide 20 ft. of No. 4 copper wire as ground electrode in foundation footing.
3. Bond interior piping system with #8 bare copper.
4. Provide main jumping bond with #4 bare copper.
5. Electrical service is to be 200 amp service, 120/240 volt, 1 phase raintight, underground.
6. Provide separate 20 amp circuits to washer.
7. Provide 20 amp circuits to family and dining room, and a minimum of two 20 amp circuits to kitchen.
8. Prewire for TV, telephone in kitchen, family room, living room, and in every bedroom.
9. Install ground fault current interrupter on exterior, garage, kitchen, and bathroom convenience outlets.
10. Bottom half of outlet controlled by switch when shown.
11. All outlets in kitchen are to be at +44" excluding those for the refrigerator, range, disposal, and dishwasher.
12. Maximum spacing of outlets shall not exceed 12 ft. along wall line and at any wall over 24" wide in all rooms except kitchen, bath, utility, and garage.
13. Install light in walk-in closet 18" minimum horizontal from any shelf.
14. Provide a ventilation fan capable of producing a change of air every 12 minutes for bath or utility.
15. Provide smoke detector alarm conforming to Section 1210(A) U.B.C. and local building codes in every bedroom and each floor. Smoke detectors will be hardwired, interconnected and have a battery back up.
16. CO2 Detector on each floor.

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	METER SOCKET
	PANEL BOX
	CEILING FAN W/ LIGHT
	FLUORESCENT LIGHT FIXTURE
	110V CEILING LIGHT FIXTURE
	110V RECESSED LIGHT FIXTURE
	110V EAVE LIGHT FIXTURE
	110V CHANDLIER LIGHT FIXTURE
	110V WALL LIGHT FIXTURE
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	OUTDOOR SWITCH
	110V DUPLX RECEPTACLE
	110V DUPLX RECEPTACLE GROUND FAULT INTERRUPTED
	110V DUPLX RECEPTACLE W/ WEATHERPROOF COVER
	110V FLOOR MOUNTED DUPLX RECEPTACLE
	240V RECEPTACLE
	TELEPHONE JACKS
	TELEVISION JACKS
	DOOR BELL PUSH BUTTON
	THERMOSTAT
	SMOKE DETECTOR
	EXHAUST FAN
	DOOR CHIME
	FIRE ALARM PANEL
	COMPUTER POINT

REVISIONS	BY				
Address: 833 PAYNES CREEK RD LANCASTER, VIRGINIA					
Sheet content : PROPOSED ELECTRICAL BASEMENT FLOOR PLAN					
Project : HOUSE RENOVATION/ADDITION					
Owner: TAYLOR-SANDERS					
Date: 27/01/2025					
Scale: 1/4"=1' U.N.O.					
Drawn: Kevin Cañas					
Job: House Renovation					
Sheet A-11					



PROPOSED ELECTRICAL FIRST FLOOR PLAN



"ELECTRICAL LOCATIONS ON THIS FLOOR PLAN ARE SUBJECT TO CHANGE. LOCATIONS AND QUANTITY MAY DIFFER FROM PLAN DETAIL DEPENDING ON CODE/ FRAMING RESTRICTIONS AND SERIES SPECIFICATIONS. OUTLETS REQUIRED BY CODE CANNOT BE MOVED OR DELETED."

"ALL RECESSED LIGHTS IN LIVING ROOM, SUNROOM, BEDROOMS KITCHEN SHOULD BE ON DIMMERS."

Electrical Systems:

1. Inspection is required prior to backfill of lines.
2. Provide 20 ft. of No. 4 copper wire as ground electrode in foundation footing.
3. Bond interior piping system with #8 bare copper.
4. Provide main jumping bond with #4 bare copper.
5. Electrical service is to be 200 amp service, 120/240 volt, 1 phase raintight, underground.
6. Provide separate 20 amp circuits to washer.
7. Provide 20 amp circuits to family and dining room, and a minimum of two 20 amp circuits to kitchen.
8. Prewire for TV, telephone in kitchen, family room, living room, and in every bedroom.
9. Install ground fault current interrupter on exterior, garage, kitchen, and bathroom convenience outlets.
10. Bottom half of outlet controlled by switch when shown.
11. All outlets in kitchen are to be at +44" excluding those for the refrigerator, range, disposal, and dishwasher.
12. Maximum spacing of outlets shall not exceed 12 ft. along wall line and at any wall over 24" wide in all rooms except kitchen, bath, utility, and garage.
13. Install light in walk-in closet 18" minimum horizontal from any shelf.
14. Provide a ventilation fan capable of producing a change of air every 12 minutes for bath or utility.
15. Provide smoke detector alarm conforming to Section 1210(A) U.B.C. and local building codes in every bedroom and each floor. Smoke detectors will be hardwired, interconnected and have a battery back up.
16. CO2 Detector on each floor.

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	METER SOCKET
	PANEL BOX
	CEILING FAN W/ LIGHT
	FLUORESCENT LIGHT FIXTURE
	110V CEILING LIGHT FIXTURE
	110V RECESSED LIGHT FIXTURE
	110V EAVE LIGHT FIXTURE
	110V CHANDLIER LIGHT FIXTURE
	110V WALL LIGHT FIXTURE
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH
	OUTDOOR SWITCH
	110V DUPLEX RECEPTACLE
	110V DUPLEX RECEPTACLE GROUND FAULT INTERRUPTED
	110V DUPLEX RECEPTACLE W/ WEATHERPROOF COVER
	110V FLOOR MOUNTED DUPLEX RECEPTACLE
	240V RECEPTACLE
	TELEPHONE JACKS
	TELEVISION JACKS
	DOOR BELL PUSH BUTTON
	THERMOSTAT
	SMOKE DETECTOR
	EXHAUST FAN
	DOOR CHIME
	FIRE ALARM PANEL
	COMPUTER POINT

REVISIONS	BY				
Address: 833 PAYNES CREEK RD LANCASTER, VIRGINIA					
Sheet content : PROPOSED ELECTRICAL FIRST FLOOR PLAN					
Project : HOUSE RENOVATION/ADDITION					
Owner: TAYLOR-SANDERS					
Date: 27/01/2025					
Scale: 1/4"=1' U.N.O.					
Drawn: Kevin Cañas					
Job: House Renovation					
Sheet A-12					

REVISIONS	BY

Address: 833 PAYNES CREEK RD
LANCASTER, VIRGINIA

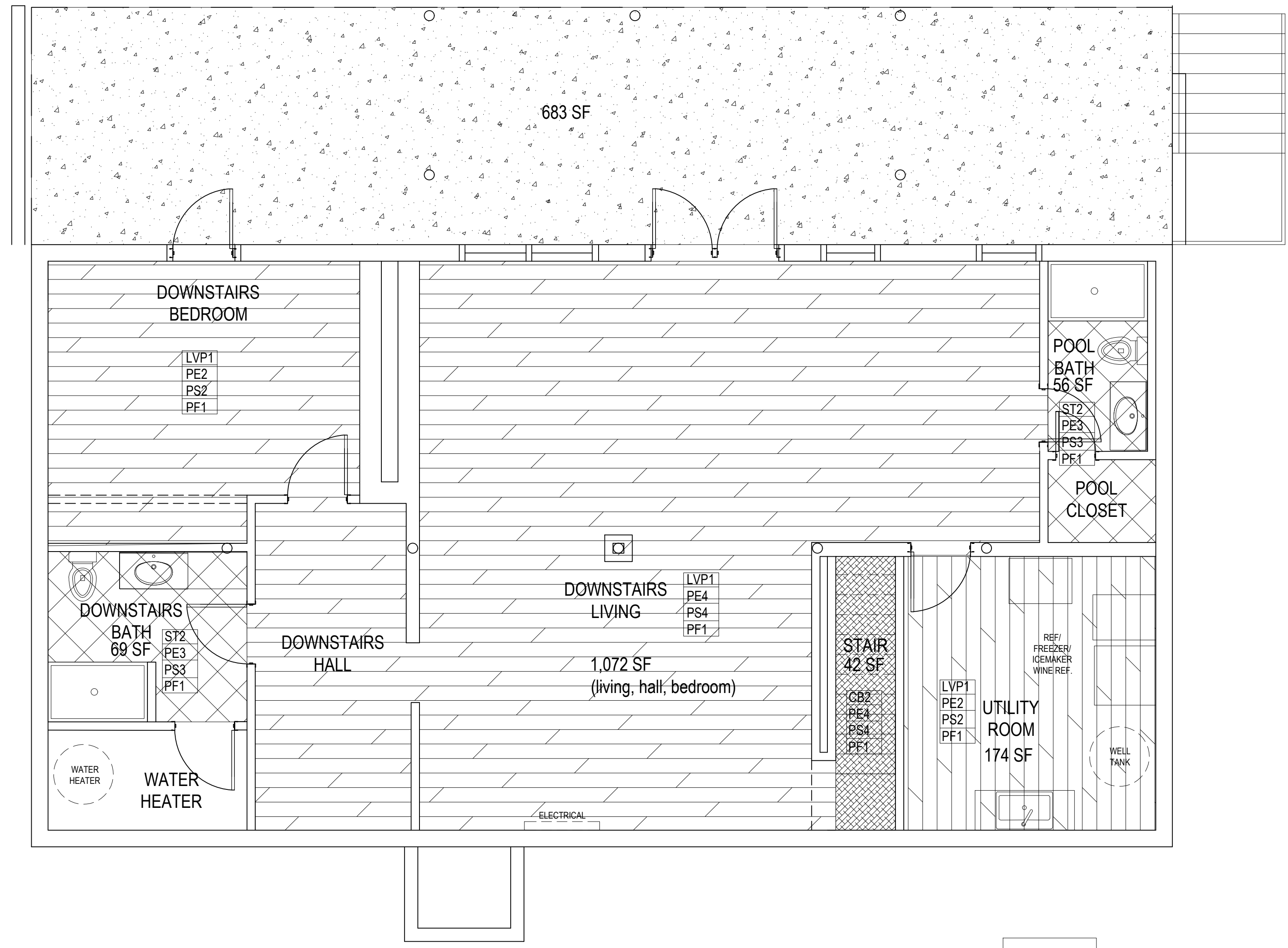
Sheet content : PROPOSED BASEMENT AND FIRST FLOOR FINISH PLAN

Project : HOUSE RENOVATION/ADDITION

Owner: TAYLOR-SANDERS

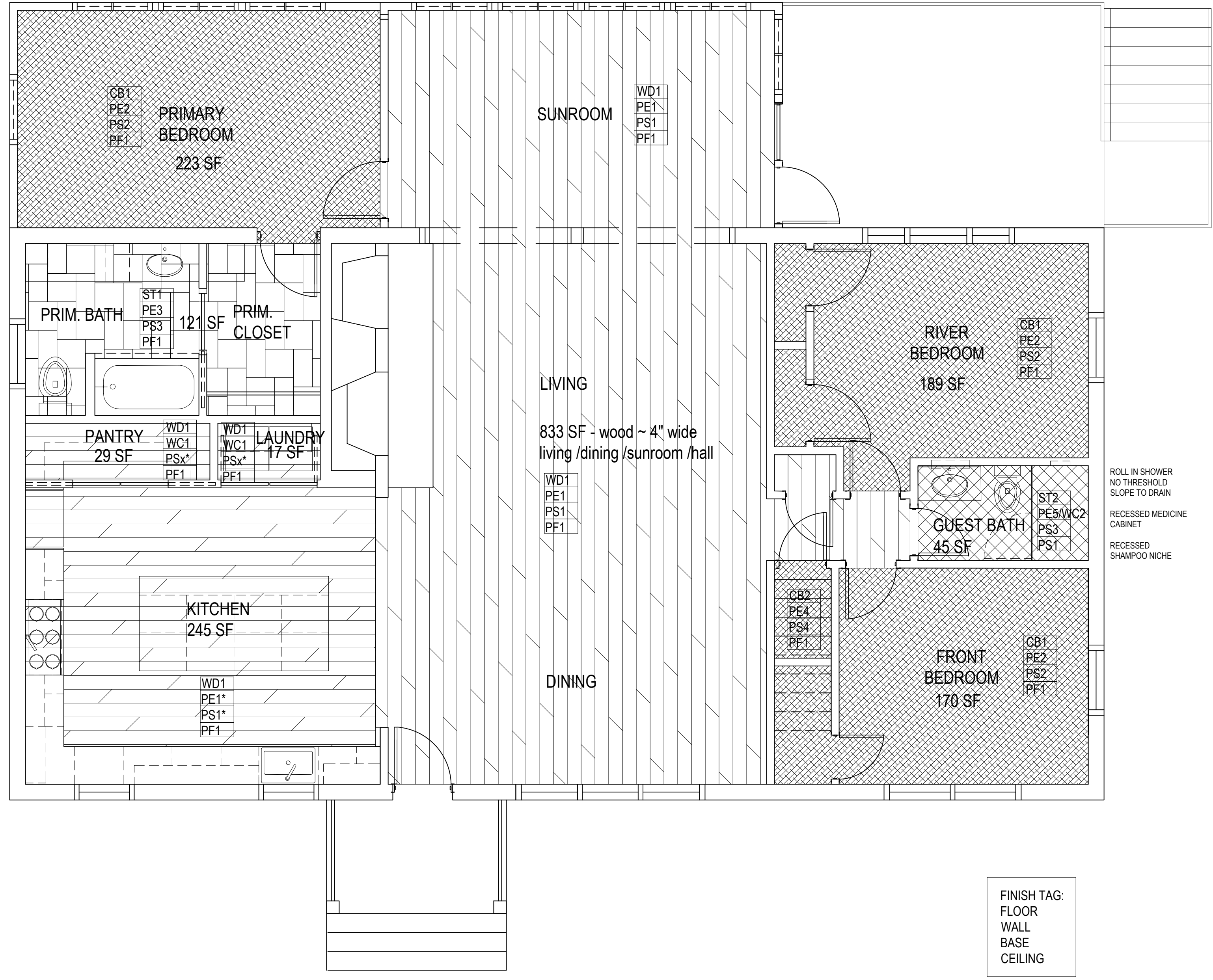
Date: 27/01/2025
Scale: 1/4"=1' U.N.O.
Drawn: Kevin Cañas
Job: House Renovation

Sheet A-13



BASEMENT FINISH PLAN
SCALE: 1/4" = 1'-0"

FINISH TAG:
FLOOR
WALL
BASE
CEILING



FIRST FLOOR FINISH PLAN
SCALE: 1/4" = 1'-0"

FINISH TAG:
FLOOR
WALL
BASE
CEILING

ROLL IN SHOWER
NO THRESHOLD
SLOPE TO DRAIN
RECESSED MEDICINE
CABINET
RECESSED
SHAMPOO NICHE

